

After recording, return to:
Kristin A. Gardner
Dunlap & Shipman, P.A.
2065 Thomasville Road, Suite 102
Tallahassee, FL 32308

20160029411
THIS DOCUMENT HAS BEEN
RECORDED IN THE PUBLIC RECORDS
OF
LEON COUNTY FL
BK: 4924 PG:1890, Page 1 of 29
05/05/2016 at 12:08 PM,
BOB INZER, CLERK OF COURTS

Killearn Homes Association, Inc.
2705 Killarney Way
Tallahassee, FL 32309

STATEMENT OF MARKETABLE TITLE ACTION

The Killearn Homes Association, Inc. ("Association") has taken action to ensure that the following Declarations of Covenants and Restrictions currently burdening the property of each and every member of said Units, retains their status as the source of marketable title with regard to the transfer of a member's residence. To this end, the Association shall cause the notice required by Chapter 712, Florida Statutes, to be recorded in the public records of Leon County, Florida. Copies of this notice and its attachments are available through the Association pursuant to the Association's governing documents regarding official records of the Association:

- 1. Killearn Estates Unit 24 Declaration of Restrictive Covenants, recorded in Official Records Book 1505, Page 2070 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 2. Killearn Estates Unit 25 Declaration of Restrictive Covenants, recorded in Official Records Book 1420, Page 1431 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 3. Killearn Estates Unit 27 Declaration of Restrictive Covenants, recorded in Official Records Book 1284, Page 1677 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 4. Killearn Estates Unit 31 Declaration of Restrictive Covenants, recorded in Official Records Book 1237, Page 1079 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official**

Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.

- 5. Killearn Estates Unit 36 Declaration of Restrictive Covenants, recorded in Official Records Book 1157, Page 1203 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 1215, Page 2036, Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534, Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 6. Killearn Estates Unit 37 Declaration of Restrictive Covenants, recorded in Official Records Book 1366, Page 1231 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 1458, Page 181, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 7. Killearn Estates Unit 38 Declaration of Restrictive Covenants, recorded in Official Records Book 1469, Page 19 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 8. Killearn Estates Unit 39 Declaration of Restrictive Covenants, recorded in Official Records Book 1571, Page 2086 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.**
- 9. Killearn Estates Unit 40 Declaration of Restrictive Covenants, recorded in Official Records Book 1525, Page 1949 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.**
- 10. Killearn Estates Unit 41 Declaration of Restrictive Covenants, recorded in Official Records Book 1788, Page 2373 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official**

10. **Killearn Estates Unit 41 Declaration of Restrictive Covenants**, recorded in Official Records Book 1788, Page 2373 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.

11. **Killearn Estates Unit 42 Declaration of Restrictive Covenants**, recorded in Official Records Book 4086, Page 427 of the public records of Leon County, Florida, as amended by that amendment to the restrictive covenants recorded in Official Records Book 4824, Page 1576, of the public records of Leon County, Florida.

Dated this 3rd day of May, 2016.

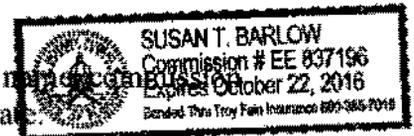

John Paul Bailey
President of Killearn Homes Association, Inc.

STATE OF FLORIDA
COUNTY OF LEON

Sworn to (or affirmed) and subscribed before me this 3rd day of May, 2016, by John Paul Bailey, president of Killearn Homes Association, Inc. who is personally known to me or who has produced personally known as identification.


Notary Public

Print, type or stamp name and expiration date:



Killearn Homes Association, Inc.
2705 Killarney Way
Tallahassee, FL 32309

PROOF OF NOTICE AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LEON

Comes now the undersigned, John Paul Bailey, President of Killearn Homes Association, Inc., being first duly sworn, deposes and says that he posted or caused to be posted, conspicuously on the property, or has hand delivered or mailed written notice of the meeting of the Board of Directors to be held on May 3, 2016, not less than seven (7) days prior to said meeting.

The undersigned also deposes and says that at the meeting of the Board held on May 3, 2016, at least 2/3 of the members of the Board of Directors voted in favor of preserving the following sets of Declaration of Covenants burdening the property described in Exhibit A attached hereto:

- 1. Killearn Estates Unit 24 Declaration of Restrictive Covenants, recorded in Official Records Book 1505, Page 2070 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 2. Killearn Estates Unit 25 Declaration of Restrictive Covenants, recorded in Official Records Book 1420, Page 1431 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**
- 3. Killearn Estates Unit 27 Declaration of Restrictive Covenants, recorded in Official Records Book 1284, Page 1677 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576 of the public records of Leon County, Florida.**

4. **Killearn Estates Unit 31 Declaration of Restrictive Covenants, recorded in Official Records Book 1237, Page 1079 of the public records of Leon County, Florida, as amended by those amendments to the restrictive covenants recorded in Official Records Book 2312, Page 1715, Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.**
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Records Book 2445, Page 2105, Book 2502, Page 1138, Book 2534 Page 2353, Book 3433, Page 1023, and Book 4824, Page 1576, of the public records of Leon County, Florida.

- 11. Killearn Estates Unit 42 Declaration of Restrictive Covenants, recorded in Official Records Book 4086, Page 427 of the public records of Leon County, Florida, as amended by that amendment to the restrictive covenants recorded in Official Records Book 4824, Page 1576, of the public records of Leon County, Florida.

WITNESS:

Lynda Kinard
Weynon

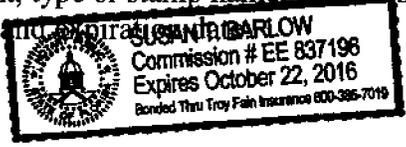
Killearn Homes Association, Inc
By: John Paul Bailey
Printed name: John Paul Bailey
Printed title: President

STATE OF FLORIDA
COUNTY OF LEON

Sworn to (or affirmed) and subscribed before me this 3rd day of May, 2016, by John Paul Bailey, the President of of Killearn Homes Association, Inc., who is personally known to me or who has produced personally known as identification.

Susan T. Barlow
Notary Public

Print, type or stamp name, commission no.



Unit 25



GARY ALLEN, P.L.S., President
MARK HENDERSON, P.L.S.

GARY GEE ALLEN
REGISTERED LAND SURVEYOR, INC.

OR1420PC1443

4101 APALACHEE PARKWAY

TALLAHASSEE, FLORIDA 32301

PHONE 877-0541

February 21, 1990

KILLEARN ESTATES UNIT NO. 25

Boundary

I hereby certify that the legal description shown hereon meets the Minimum Technical Standards for Land Surveying (F.A.C. 21HH-6).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible that there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

Begin at the Southeast corner of Lot 8, Block "G", of Kimberton, Unit No. 2, a subdivision as per map or plat thereof recorded in Plat Book 9, Page 20 of the Public Records of Leon County, Florida, and run along the Easterly boundary of Block "G", of said Kimberton, Unit No. 2 as follows: North 29 degrees 46 minutes 29 seconds West 121.71 feet, thence North 15 degrees 24 minutes 48 seconds West 351.99 feet, thence North 06 degrees 24 minutes 08 seconds East 115.79 feet, thence South 86 degrees 14 minutes 50 seconds East 80.12 feet, thence North 04 degrees 55 minutes 29 seconds East 212.73 feet to a point on the Southerly right of way boundary of McLaughlin Drive, thence North 22 degrees 06 minutes 25 seconds East 86.92 feet to a point lying on the Northerly right of way boundary of McLaughlin Drive, said point lying on a curve concave to the South, thence run Easterly along said right of way and said curve with a radius of 1153.79 feet, through a central angle of 01 degree 14 minutes 03 seconds, for an arc distance of 24.87 feet (the chord bearing being South 89 degrees 17 minutes 42 seconds East 24.85 feet), thence South 89 degrees 29 minutes 39 seconds East 5.61 feet to the Southeast corner of Lot 2, Block "F", of Kimberton, Unit No. 2, thence North 09 degrees 07 minutes 52 seconds East along the East boundary of said Lot 2 and the East boundary of Lot 1, Block "F", of Kimberton, Unit 2, a distance of 265.88 feet to the Northeast corner of said Lot 1, Block "F", thence South 55 degrees 05 minutes 18 seconds East 44.42 feet, thence South 80 degrees 29 minutes 46 seconds East 208.76 feet, thence South 81 degrees 54 minutes 52 seconds East 235.80 feet, thence South 54 degrees 31 minutes 35 seconds East 126.46 feet, thence South 17 degrees 18 minutes 03 seconds East 206.32 feet, thence South 28 degrees 39 minutes 31 seconds East 103.74 feet, thence South 22 degrees 45 minutes 00 seconds East 81.99 feet, thence South 38 degrees 38 minutes 03 seconds East 288.34 feet, thence South 63 degrees 27 minutes 32 seconds East 198.62 feet, thence South 79 degrees 30 minutes 37 seconds East 116.02 feet, thence North 88 degrees 32 minutes 27 seconds East 203.16 feet, thence North 87 degrees 57

— Exhibit "A" —
(Page 1 of 2 Pages)



GARY ALLEN, P.L.S., President
MARK HENDERSON, P.L.S.

GARY GEE ALLEN
REGISTERED LAND SURVEYOR, INC.

BR1420P1444

4101 APALACHEE PARKWAY

TALLAHASSEE, FLORIDA 32301

PHONE: 877-0541

KILLEARN ESTATES UNIT NO. 25
Boundary
February 21, 1990
Page 2 of 2

minutes 46 seconds East 220.48 feet, thence South 68 degrees 26
minutes 33 seconds East 100.86 feet, thence South 43 degrees 31
minutes 12 seconds East 365.79 feet, thence South 26 degrees 14
minutes 48 seconds East 95.55 feet, thence South 09 degrees 28
minutes 15 seconds East 271.08 feet, thence South 23 degrees 36
minutes 20 seconds East 272.44 feet to a point on the
Northwesterly maintained right of way boundary of Centerville
Road, thence run South 48 degrees 16 minutes 07 seconds West
along said maintained right of way boundary 252.50 feet, thence
South 44 degrees 06 minutes 00 seconds West along said maintained
right of way boundary 256.08 feet to the Northeasterly boundary
of Killearn Estates Unit No. 16, as recorded in Plat Book 7, Page
9, of the Public Records of Leon County, Florida, thence run
along said Northeasterly boundary as follows: North 41 degrees
52 minutes 20 seconds West 280.35 feet, thence North 41 degrees
04 minutes 28 seconds West 604.93 feet, thence North 78 degrees
01 minutes 25 seconds West 844.77 feet, thence North 49 degrees
09 minutes 36 seconds West 246.18 feet, thence North 85 degrees
44 minutes 10 seconds West 224.89 feet, thence South 61 degrees
11 minutes 45 seconds West 37.47 feet to the POINT OF BEGINNING;
containing 45.66 acres more or less.

A survey has not been performed by Gary Allen Land Surveying,
Inc., to verify the accuracy of this property and there has been
no onsite inspection to determine if the foregoing described
property has any improvements or encroachments.

Gary G. Allen

Gary G. Allen
Registered Florida Surveyor No. 4016



Unit 27



Brown & Associates
Civil Engineers and Land Surveyors Inc.

001184PC1688

Benjamin E. Brown, P.E. R.L.S.

Glenn C. Brown Jr.,

LEGAL DESCRIPTION FOR KILLEARN ESTATES UNIT NO. 27
January 25, 1987

Begin at the northernmost corner of Lot 11 Block CR Killearn Estates Unit No. 26, a subdivision as per map or plat thereof as recorded in Plat Book 9 Page 19 of the Public Records of Leon County, Florida. From said POINT OF BEGINNING run South 27 degrees 37 minutes 56 seconds East along the easterly property line of said Lot 11 Block CR, 200.00 feet to a concrete monument (Plat: South 27 degrees 31 minutes 17 seconds East 234.64 feet); THENCE North 79 degrees 35 minutes 02 seconds East 621.16 to a concrete monument; THENCE North 50 degrees 34 minutes 2 seconds East 601.25 feet to a concrete monument on the southeasterly right-of-way boundary line of Griffin Drive; THENCE leaving said southeasterly right-of-way boundary line and crossing said right-of-way run North 58 degrees 14 minutes 39 seconds East 68.09 feet to a concrete monument on the northeasterly right-of-way boundary line of Griffin Drive; THENCE leaving said northeasterly right-of-way boundary line run North 48 degrees 50 minutes 36 seconds East 53.12 feet to a concrete monument; THENCE North 09 degrees 08 minutes 11 seconds West 168.78 feet to a concrete monument; THENCE North 18 degrees 08 minutes 58 seconds West 265.08 feet to a concrete monument; THENCE North 24 degrees 15 minutes 32 seconds West 317.42 feet to a concrete monument; THENCE South 72 degrees 56 minutes 42 seconds West 188.98 feet to a concrete monument; THENCE South 28 degrees 55 minutes 21 seconds West 687.54 feet to a concrete monument; THENCE South 84 degrees 40 minutes 60 seconds West 597.51 feet to a concrete monument; THENCE South 70 degrees 01 minutes 58 seconds West 154.69 feet to a concrete monument; THENCE South 36 degrees 15 minutes 39 seconds East along the easterly property line of Lot 1 Block CQ of the aforesaid Killearn Estates Unit No. 26, 306.95 feet to a concrete monument on the northwesterly right-of-way boundary line of Kilmartin Drive (Plat: South 36 degrees 15 minutes 09 seconds East 306.87 feet); THENCE leaving said property line and leaving said northwesterly right-of-way boundary line and crossing said right-of-way run South 34 degrees 58 minutes 55 seconds East 60.25 feet to the POINT OF BEGINNING, (Plat: South 35 degrees 09 minutes 37 seconds East 60.03 feet) containing 20.01 acres more or less.

EXHIBIT "A"

Unit 31



2937-A Killearn Court
Tallahassee, FL 32303

Brown & Associates
Civil Engineers and Land Surveyors Inc.

Telephone: (904) 893-1400

LEGAL DESCRIPTION FOR KILLEARN ESTATES UNIT NO. 31

081237761091

BEGIN at the Southwest corner of Section 3, Township 1 North, Range 1 East of Leon County and run South 89 degrees 32 minutes 10 seconds East 17.74 feet to a concrete monument, said monument being on the easterly right-of-way of Raymond Blvd Road and on the northeastern most corner Arbor Hill a subdivision as per map or plat thereof as recorded in Plat Book 7, Page 51 of the Public Records of Leon County, Florida; THENCE continue South 89 degrees 32 minutes 10 seconds East leaving said easterly right-of-way boundary and along the northern boundary of said Arbor Hill, unplatted land of Arbor Hill and then Arbor Hill Unit No. 2, a subdivision as per map or plat thereof as recorded in Plat Book 8, Page 17 of the Public Records of Leon County, 1298.76 feet to a concrete monument, said monument also being the Southwest corner of Lot 13 Block CX of Killearn Estates Unit No. 22, a subdivision as per map or plat thereof as recorded in Plat Book 8, Page 93 of the Public Records of Leon County; THENCE leaving said northern boundary of Arbor Hill Unit No. 2 and said Southwest corner of Lot 13, run North 00 degrees 27 minutes 50 seconds East along the westerly boundary of said Killearn Estates Unit No. 22, 150.00 feet to a concrete monument; THENCE South 89 degrees 32 minutes 10 seconds East 12.85 feet to a concrete monument; THENCE North 00 degrees 27 minutes 50 seconds East 200.00 feet to a concrete monument; THENCE South 89 degrees 32 minutes 10 seconds East 30.00 feet to a concrete monument; THENCE North 00 degrees 27 minutes 50 seconds East 138.77 feet to a concrete monument on a non-tangent curve concave to the Southwest; THENCE proceed in a southeasterly direction along said curve having a radius of 208.23 feet through a central angle of 35 degrees 03 minutes 00 seconds for an arc length of 127.38 feet (said curve also having a chord bearing South 65 degrees 47 minutes 30 seconds East and a chord length of 125.41 feet) to a concrete monument; THENCE North 41 degrees 44 minutes 00 seconds East 60.00 feet to a concrete monument; THENCE North 01 degrees 57 minutes 29 seconds West 256.59 feet to a concrete monument on the southerly boundary line of Killearn Estates Unit No. 21 a subdivision as per map or plat thereof as recorded in Plat Book 8, Page 73 of the Public Records of Leon County; THENCE leaving the aforesaid Killearn Estates Unit No. 22 run South 64 degrees 02 minutes 13 seconds West along the southerly boundary line of Killearn Estates Unit No. 21 111.76 feet to a concrete monument; THENCE North 89 degrees 32 minutes 10 seconds West 136.00 feet to a concrete monument; THENCE North 83 degrees 37 minutes 36 seconds West 105.04 feet to a concrete monument; THENCE North 54 degrees 53 minutes 43 seconds West 168.65 feet to a concrete monument; THENCE North 17 degrees 16 minutes 53 seconds West 94.26 feet to a concrete monument; THENCE North 76 degrees 44 minutes 36 seconds West 129.89 feet to a concrete monument on a non-tangent curve concave to the Southeast; THENCE proceed in a northeasterly direction along said curve having a radius of 200.00 feet through a central angle of 35 degrees 21 minutes 06 seconds for an arc distance of 91.99 feet (said curve also having a chord bearing North 26 degrees 25 minutes 57 seconds East and a chord length of 91.18 feet) to a concrete monument; THENCE North 39 degrees 35 minutes 36 seconds East 29.62 feet to a concrete monument; THENCE North 45 degrees 16 minutes 21 seconds West 249.21 feet to a concrete

Job No. 1002-042
Field Book LOKESI-12
Date: 6/27/86

CERTIFICATE

EXHIBIT "A"
(Page 1 of 4 Pages)

7/2/86

BENJAMIN E. BROWN
FLORIDA REGISTERED ENGINEER NO. 20813
FLORIDA REGISTERED LAND SURVEYOR NO. 3893

NOTE: Not Valid Unless Sealed With An Embossed Seal



3837-A Killlearn Court
Tallahassee, FL 32303

Brown & Associates
Civil Engineers and Land Surveyors Inc.

Telephone: (904) 893-1400

Killearn Estates Unit No. 31
Page 2 of 4

DR1237761032

monument; THENCE North 62 degrees 21 minutes 22 seconds East 70.00 feet to a concrete monument; THENCE North 25 degrees 38 minutes 38 seconds West 150.00 feet to a concrete monument on the southeasterly right-of-way boundary line of Gallagher Drive; THENCE along said southeasterly right-of-way boundary line run North 64 degrees 21 minutes 22 seconds East 100.32 feet to a concrete monument; THENCE leaving said southeasterly right-of-way boundary line run North 25 degrees 38 minutes 38 seconds West 213.18 feet to a concrete monument on the southerly boundary of Killlearn Estates Unit No. 3 a subdivision as per map or plat thereof as recorded in Plat Book 5 Page 12 of the Public Records of Leon County; THENCE leaving the aforesaid southerly boundary line of Killlearn Estates Unit No. 21 run South 64 degrees 58 minutes 06 seconds West along the southerly boundary of said Killlearn Estates Unit No. 3, 217.63 feet to a concrete monument; THENCE South 83 degrees 03 minutes 03 seconds West 206.52 feet to a concrete monument on the easterly boundary line of Killlearn Estates Unit No. 5 a subdivision as per map or plat thereof as recorded in Plat Book 5, Page 34 of the Public Records of Leon County; THENCE leaving the aforesaid Killlearn Estates Unit No. 3 run South 10 degrees 06 minutes 27 seconds West along said easterly boundary of Killlearn Estates Unit No. 5, 164.12 feet to a concrete monument; THENCE South 08 degrees 11 minutes 10 seconds West 126.68 feet to a concrete monument; THENCE South 10 degrees 05 minutes 08 seconds West 126.10 feet to a concrete monument; THENCE South 08 degrees 41 minutes 45 seconds West 108.72 feet to a concrete monument; THENCE South 00 degrees 10 minutes 33 seconds East 104.42 feet to a concrete monument; THENCE South 08 degrees 47 minutes 05 seconds East 104.45 feet to a concrete monument; THENCE South 17 degrees 17 minutes 52 seconds East 104.52 feet to a concrete monument; THENCE South 22 degrees 13 minutes 41 seconds East 132.64 feet to a concrete monument; THENCE South 14 degrees 37 minutes 27 seconds East 151.29 feet to a concrete monument; THENCE South 80 degrees 03 minutes 46 seconds West 170.02 feet to a concrete monument on the easterly right-of-way of way boundary line of Raymond Diehl Road; THENCE leaving said easterly right-of-way boundary line run South 69 degrees 32 minutes 30 seconds West 81.45 feet to a concrete monument on the westerly right-of-way boundary line of Raymond Diehl Road, said monument also being on a nontangent curve concave to the Southwest; THENCE proceed along said westerly right-of-way boundary line in a southeasterly direction along said curve having a radius of 712.04 feet through a central angle of 14 degrees 31 minutes 51 seconds for an arc distance of 180.58 feet (said curve also having a chord bearing South 01 degrees 45 minutes 56 seconds East and a chord length of 180.10 feet) to a concrete monument; THENCE leaving said westerly right-of-way run North 89 degrees 26 minutes 10 seconds West 149.79 feet to a concrete monument; THENCE South 81 degrees 47 minutes 20 seconds West 150.00 feet to a concrete monument; THENCE South 89 degrees 26 minutes 10 seconds East 234.91 feet to a concrete monument at the POINT OF BEGINNING, containing 33.075 acres more or less.

Less and except the following described parcel:

BEGIN at the Southwest corner of Section 3, Township 1 North, Range 1 East of Leon County and run South 89 degrees 32 minutes 10 seconds East

Job No. 1002-042
Field Book LDKE31:12
Date: 6/27/86

CERTIFICATE

~~STATE OF FLORIDA - DEPARTMENT OF REVENUE - DIVISION OF LAND MANAGEMENT - TALLAHASSEE, FLORIDA~~

EXHIBIT "A"
(Page 2 of 4 Pages)

 7/2/86

BENJAMIN E. BROWN
FLORIDA REGISTERED ENGINEER NO. 20813
FLORIDA REGISTERED LAND SURVEYOR NO. 3893

NOTE: Not Valid Unless Sealed With An Embossed Seal



3637-A Killearn Court
Tallahassee, FL 32303

Brown & Associates
Civil Engineers and Land Surveyors Inc.

Telephone: (904) 893-1430

Killearn Estates Unit No. 31
Page 3 of 4

081237761093

17.79 feet to a concrete monument, said monument being on the easterly right-of-way of Raymond Diehl Road and on the northwestern most corner Arbor Hill a subdivision as per map or plat thereof as recorded in Plat Book 7, Page 51 of the Public Records of Leon County, Florida; said monument also being on a nontangent curve concave to the Northwest; THENCE leaving said northwestern most corner proceed along said easterly right-of-way and along said curve having a radius of 792.04 feet through a central angle of 25 degrees 39 minutes 38 seconds for an arc length of 354.60 feet (said curve also having a chord bearing North 02 degrees 33 minutes 05 seconds East and a chord length of 351.84 feet) to a concrete monument; THENCE leaving said easterly right-of-way of way boundary line run South 69 degrees 32 minutes 30 seconds West 81.45 feet to a concrete monument on the westerly right-of-way boundary line of Raymond Diehl Road said monument also being on a nontangent curve concave to the Northwest; THENCE proceed along said westerly right-of-way boundary line and along said curve having a radius of 712.04 feet through a central angle of 26 degrees 13 minutes 19 seconds for an arc distance of 325.87 feet (said curve also having a chord bearing of South 04 degrees 04 minutes 48 seconds West and a chord distance of 323.03 feet) to a concrete monument; THENCE leaving said westerly right-of-way boundary line run South 89 degrees 26 minutes 10 seconds East 65.34 feet to the POINT OF BEGINNING, containing 0.625 acres more or less.

Job No. 1002-042
Field Book LDKE 31:12
Date: 6/27/86

CERTIFICATE

EXHIBIT "A"
(Page 3 of 4 Pages)

BENJAMIN E. BROWN
FLORIDA REGISTERED ENGINEER NO. 20813
FLORIDA REGISTERED LAND SURVEYOR NO. 3883

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3537-A Killearn Court
Tallahassee, FL 32303

Brown & Associates
Civil Engineers and Land Surveyors Inc.

Telephone: (904) 893-1430

**LEGAL DESCRIPTION
FOR KILLEARN ESTATES UNIT 31**

01237101094

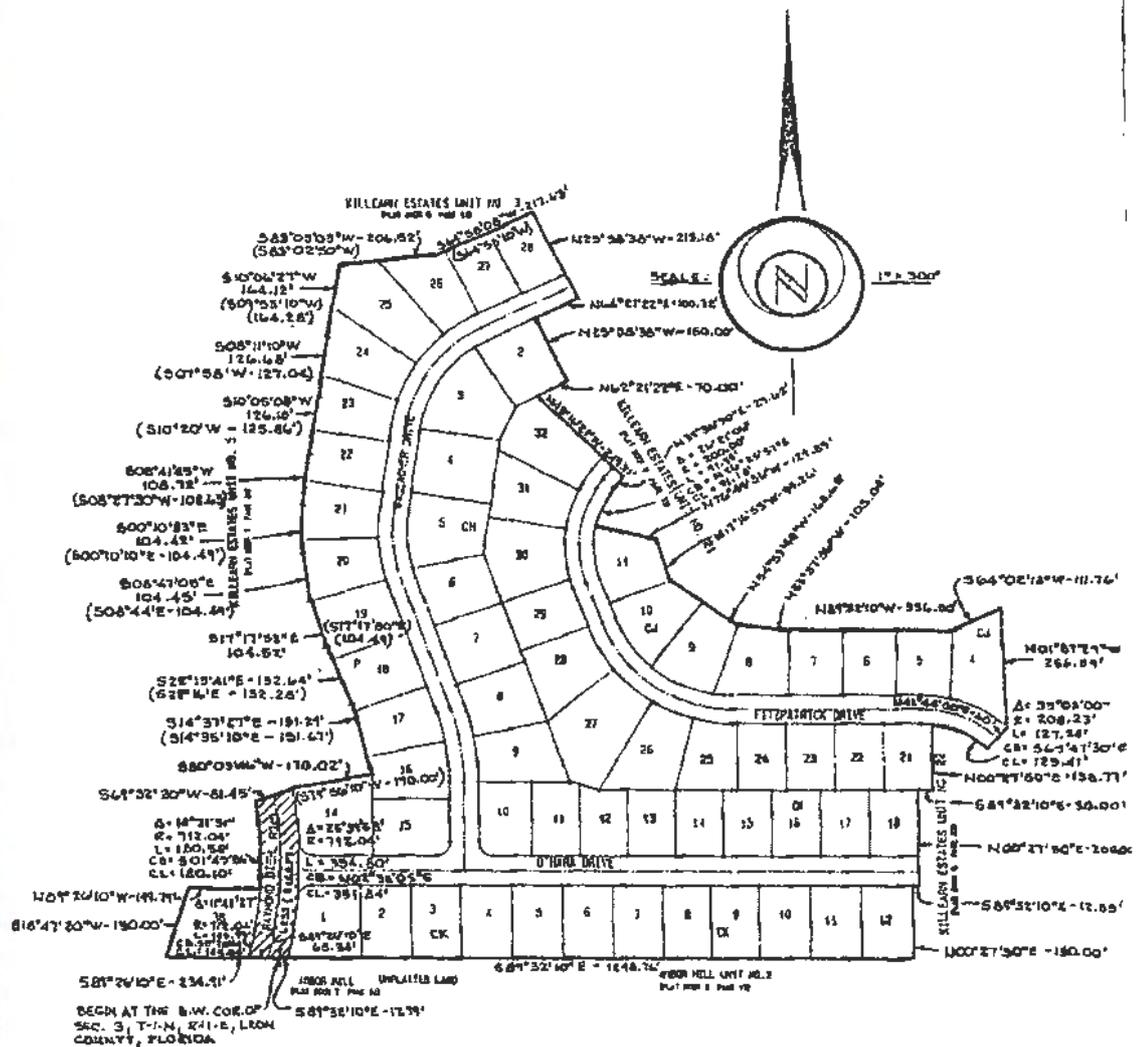


EXHIBIT "A"
(Page 4 of 4 Pages)

Job No.	1002-042
Field Book	
Date:	6/27/86

CERTIFICATE

I do hereby certify that this survey and legal description was prepared under my responsible supervision and is true and accurate to the best of my knowledge and belief. I further testify that this survey is in compliance with Part 1 of Chapter 111 of the Florida Statutes and with Florida Rule 21-N-6 of the Florida Administrative Code.

[Signature] 7/2/86
BENJAMIN E. BROWN
 FLORIDA REGISTERED ENGINEER NO. 20813
 FLORIDA REGISTERED LAND SURVEYOR NO. 3603

NOTE: Not Valid Unless Sealed With An Embossed Seal

Unit 36

EXHIBIT "A"

DR1157PG1218

Begin at the Southeast corner of Lot 1, Block "AB" of Killearn Estates, Unit No. 10, a subdivision as per map or plat thereof recorded in Plat Book 6, Page 4 of the Public Records of Leon County, Florida, and run thence West along the South boundary of said Block "AB" 568.48 feet to a point on the West boundary of Section 3, Township 1 North, Range 1 East, Leon County, Florida, thence run South 00 degrees 06 minutes 26 seconds East along the West boundary of said Section 3, a distance of 1071.89 feet, thence run North 89 degrees 41 minutes 20 seconds East 478.71 feet, thence run North 58 degrees 40 minutes East 324.67 feet to a point on the Westerly right of way boundary of Shamrock West, thence North 31 degrees 26 minutes West along said Westerly right of way right of way boundary 63.94 feet to a point of curve to the right, thence run Northwesterly along said Westerly right of way boundary and said curve with a radius of 1088.65 feet, through a central angle of 31 degrees 26 minutes for an arc distance of 597.24 feet, thence run North along said Westerly right of way boundary 279.03 feet to the Point of Beginning, containing 15.0 acres, more or less.



Unit 37

BROWARD DAVIS & ASSOC., INC.

PLANNING • ENGINEERING • SURVEYING • DEVELOPMENT MANAGEMENT
FLORIDA • GEORGIA • ALABAMA

BROWARD P. DAVIS, P.L.S.
LARRY E. DAVIS, P.L.S.
LEE F. DOWLING, P.L.S.
RUFUS L. DICKEY, P.L.S.
LELAND L. BURTON, P.L.S.



March 7, 1989

WALTER A. JOHNSON, P.E., P.L.S.
KEVIN C. SMITH, P.E.
DAVID J. BARTLETT, P.L.S.
TOMMY B. GREEN, P.L.S.
KATHLEEN R. SHAW, P.L.S.

DR1366P1.243

KILLEARN ESTATES UNIT NO. 37

Boundary

I hereby certify that the legal description shown hereon meets the Minimum Technical Standards for Land Surveying (F.A.C. 21HH-6).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

Begin at the Southwest corner of Lot 11, Block "DF" of Killearn Estates Unit No. 33, a subdivision as per map or plat thereof recorded in Plat Book 9, Page 45 of the Public Records of Leon County, Florida, and run South 00 degrees 01 minute 59 seconds West 90.54 feet to the Northerly boundary of Lot 1, Block "CK" of Killearn Estates Unit No. 21, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 73 of the Public Records of Leon County, Florida, thence North 82 degrees 46 minutes 35 seconds East along said Northerly boundary 21.70 feet, thence South 00 degrees 07 minutes 46 seconds West along the Easterly boundary of said Block "CK" and along the boundary of Block "GF" of said Killearn Estates Unit No. 21 and along the Easterly boundary of Block "GF" of Killearn Estates Unit No. 22, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 93 of the Public Records of Leon County, Florida, a distance of 1605.35 feet, thence North 89 degrees 29 minutes 16 seconds East along the East boundary of Section 3, Township 1 North, Range 1 East, Leon County, Florida (bearing base from previous survey by Broward Davis & Assoc., Inc.) 200.00 feet, thence North 00 degrees 05 minutes 53 seconds East 151.77 feet to a point of curve to the right, thence Northerly along said curve with a radius of 350.06 feet, through a central angle of 08 degrees 54 minutes 18 seconds, for an arc distance of 54.41 feet, thence South 80 degrees 59 minutes 49 seconds East 136.73 feet, thence North 21 degrees 52 minutes 06 seconds East 95.00 feet, thence North 46 degrees 40 minutes 40 seconds East 205.80 feet, thence North 36 degrees 19 minutes 49 seconds East 123.47 feet, thence South 52 degrees 55 minutes 50 seconds East 64.41 feet, thence South 80 degrees 02 minutes 30 seconds East 421.76 feet, thence North 09 degrees 57 minutes 30 seconds East 210.00 feet, thence South

EXHIBIT "A"
(Page 1 of 2 Pages)

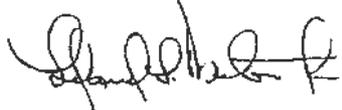
STREET ADDRESS: 2414 MAIAN DRIVE (EASTWOOD OFFICE PLAZA)
MAILING ADDRESS: POST OFFICE BOX 12367 • TALLAHASSEE, FLORIDA 32317 • (904) 878-4199
TELE FAX: (904) 878-2058

KILLEARN ESTATES UNIT NO. 37
Boundary
March 7, 1989
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DR1366PE1244

80 degrees 02 minutes 30 seconds East 117.57 feet, thence North 01 degree 09 minutes 37 seconds East 212.50 feet, thence North 12 degrees 06 minutes 21 seconds East 535.28 feet, thence North 06 degrees 18 minutes 28 seconds West 355.80 feet to the Southerly boundary of Killearn Estates Unit No. 7, a subdivision as per map or plat thereof recorded in Plat Book 5, Page 24 of the Public Records of Leon County, Florida, thence South 89 degrees 44 minutes 24 seconds West along the Southerly boundary of said subdivision 661.48 feet, thence South 89 degrees 40 minutes 47 seconds West 475.56 feet, thence North 00 degrees 16 minutes 33 seconds West 20.35 feet to the Southerly boundary of Block "DF" of said Killearn Estates Unit No. 33, thence South 89 degrees 41 minutes 56 seconds West along said Southerly boundary 174.97 feet to the POINT OF BEGINNING; containing 38.80 acres, more or less.

A survey has not been performed by Broward Davis & Assoc., Inc., to verify the accuracy of this property and there has been no onsite inspection to determine if the foregoing described property has any improvements or encroachments.



LELAND L. BURTON, JR.
Registered Florida Surveyor No. 2400



DPD #71-155
FSR #

EXHIBIT "A"
(Page 2 of 2 Pages)

STREET ADDRESS: 2414 MAJAN DRIVE (EASTWOOD OFFICE PLAZA)
MAILING ADDRESS: POST OFFICE BOX 12367 • TALLAHASSEE, FLORIDA 32317 • (904) 678-4193
TELE FAX: (904) 678-2238

Unit 38

KILLEARN ESTATES UNIT NO. 38

A SUBDIVISION OF A PART OF SECTIONS 2 AND 3, TOWNSHIP
1 NORTH, RANGE 1 EAST, AND LYING WITHIN THE CITY LIMITS
OF TALLAHASSEE, FLORIDA.

081469PC0034

LEGAL DESCRIPTION

COMMENCE AT THE SOUTHWEST CORNER OF KILLEARN ESTATES UNIT NO. 7, A SUBDIVISION AS PER MAP OR PLAN THEREOF RECORDED IN PLAT BOOK 5, PAGE 24 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA AND RUN NORTH 88 DEGREES 44 MINUTES 24 SECONDS EAST ALONG THE SOUTH BOUNDARY OF SAID KILLEARN ESTATES UNIT NO. 7, A DISTANCE OF 881.48 FEET TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING RUN NORTH 88 DEGREES 44 MINUTES 24 SECONDS EAST ALONG SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, A DISTANCE OF 48.89 FEET, THENCE NORTH 89 DEGREES 37 MINUTES 49 SECONDS EAST ALONG SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, A DISTANCE OF 848.85 FEET TO THE WEST BOUNDARY OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 888, PAGE 801 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, THENCE SOUTH 03 DEGREES 06 MINUTES 29 SECONDS WEST ALONG THE SAID WESTERLY BOUNDARY, A DISTANCE OF 718.22 FEET, THENCE LEAVING SAID PROPERTY, RUN SOUTH 08 DEGREES 50 MINUTES 53 SECONDS EAST 88.38 FEET TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE SOUTHEASTERLY THENCE NORTHEASTERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 1302.84 THROUGH A CENTRAL ANGLE OF 07 DEGREES 13 MINUTES 08 SECONDS FOR AN ARC DISTANCE OF 184.48 FEET, (THE CHORD OF SAID ARC BEING NORTH 85 DEGREES 03 MINUTES 20 SECONDS EAST 184.38 FEET) THENCE NORTH 88 DEGREES 40 MINUTES 20 SECONDS EAST ALONG SAID PROPOSED RIGHT OF WAY A DISTANCE OF 230.68 FEET TO THE EASTERLY BOUNDARY OF SAID PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 888, PAGE 801, THENCE NORTH 01 DEGREES 33 MINUTES 14 SECONDS WEST ALONG SAID EASTERLY BOUNDARY A DISTANCE OF 126.00 FEET, THENCE LEAVING SAID EASTERLY BOUNDARY RUN NORTH 88 DEGREES 28 MINUTES 38 SECONDS EAST 141.04 FEET TO THE WESTERLY BOUNDARY OF A PROPOSED 60 FOOT ROADWAY, SAID POINT LYING ON A CURVE CONCAVE TO THE NORTHEASTERLY, THENCE NORTHWESTERLY ALONG SAID CURVE WITH A RADIUS OF 933.67 FEET THROUGH A CENTRAL ANGLE OF 01 DEGREE 58 MINUTES 31 SECONDS FOR AN ARC DISTANCE OF 31.85 FEET, (THE CHORD OF SAID ARC BEING NORTH 02 DEGREES 33 MINUTES 07 SECONDS WEST 31.64 FEET), THENCE LEAVING SAID PROPOSED RIGHT OF WAY CURVE RUN NORTH 88 DEGREES 25 MINUTES 09 SECONDS EAST 189.88 FEET, THENCE NORTH 01 DEGREE 34 MINUTES 51 SECONDS WEST 183.12 FEET, THENCE NORTH 23 DEGREES 30 MINUTES 12 SECONDS EAST 73.58 FEET, THENCE NORTH 53 DEGREES 12 MINUTES 57 SECONDS EAST 74.47 FEET, THENCE NORTH 65 DEGREES 43 MINUTES 25 SECONDS EAST 78.78 FEET, THENCE NORTH 88 DEGREES 38 MINUTES 40 SECONDS EAST 208.00 FEET, THENCE SOUTH 04 DEGREES 28 MINUTES 24 SECONDS EAST 40.00 FEET, THENCE NORTH 85 DEGREES 03 MINUTES 22 SECONDS EAST 498.71 FEET, THENCE NORTH 89 DEGREES 38 MINUTES 40 SECONDS EAST 328.00 FEET, THENCE SOUTH 12 DEGREES 40 MINUTES 38 SECONDS WEST 13.91 FEET, THENCE SOUTH 52 DEGREES 16 MINUTES 23 SECONDS EAST 288.85 FEET, TO THE PROPOSED SOUTHEASTERLY RIGHT OF WAY OF A 60 FOOT ROADWAY, THENCE NORTH 37 DEGREES 23 MINUTES 25 SECONDS EAST ALONG SAID PROPOSED RIGHT OF WAY A DISTANCE OF 10.00 FEET, THENCE LEAVING SAID PROPOSED RIGHT OF WAY BOUNDARY RUN SOUTH 52 DEGREES 18 MINUTES 23 SECONDS EAST 140.25 FEET, THENCE SOUTH 38 DEGREES 42 MINUTES 34 SECONDS WEST 139.10 FEET TO THE PROPOSED NORTHEASTERLY RIGHT OF WAY BOUNDARY OF A 60 FOOT ROADWAY THENCE ALONG SAID PROPOSED RIGHT OF WAY AS FOLLOWS: SOUTH 30 DEGREES 00 MINUTES 00 SECONDS EAST 217.25 FEET TO A POINT OF CURVE TO THE LEFT, THENCE ALONG SAID CURVE WITH A RADIUS OF 802.90 FEET THROUGH A CENTRAL ANGLE OF 41 DEGREES 07 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 848.16 FEET, THENCE SOUTH 71 DEGREES 07 MINUTES 47 SECONDS EAST 87.38 FEET, TO A POINT OF CURVE TO THE LEFT, THENCE ALONG SAID CURVE WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 89 DEGREES 24 MINUTES 52 SECONDS FOR AN ARC DISTANCE OF 48.82 FEET, TO THE WESTERLY RIGHT OF WAY OF CENTERVILLE ROAD, THENCE LEAVING SAID PROPOSED RIGHT OF WAY, RUN SOUTH 19 DEGREES 27 MINUTES 21 SECONDS WEST 21 SECONDS WEST ALONG SAID WESTERLY RIGHT OF WAY A DISTANCE OF 120.01 FEET, TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE WESTERLY, THENCE NORTHERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 80 DEGREES 35 MINUTES 08 SECONDS FOR AN ARC DISTANCE OF 47.43 FEET, (THE CHORD OF SAID ARC BEING NORTH 25 DEGREES 50 MINUTES 13 SECONDS WEST 42.64 FEET) THENCE NORTHERLY AND SOUTHERLY ALONG THE PROPOSED SOUTHERLY RIGHT OF WAY OF A 60 FOOT ROADWAY AS FOLLOWS: NORTH 71 DEGREES 07 MINUTES 47 SECONDS WEST 88.15 FEET TO A POINT OF CURVE TO THE RIGHT WITH A RADIUS OF 882.90 FEET THROUGH A CENTRAL ANGLE OF 41 DEGREES 07 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 881.22 FEET, THENCE NORTH 30 DEGREES 00 MINUTES 00 SECONDS WEST 217.25 FEET TO A POINT OF CURVE TO THE LEFT WITH A RADIUS OF 374.13 THROUGH A CENTRAL ANGLE OF 80 DEGREES 21 MINUTES 20 SECONDS FOR AN ARC DISTANCE OF 394.11 FEET, THENCE SOUTH 89 DEGREES 38 MINUTES 40 SECONDS WEST 100.00 FEET TO A POINT OF CURVE TO THE LEFT WITH A RADIUS OF 1128.88 FEET THROUGH A CENTRAL ANGLE OF 23 DEGREES 28 MINUTES 58 SECONDS FOR AN ARC DISTANCE OF 482.43 FEET, THENCE LEAVING SAID PROPOSED 40 FOOT RIGHT OF WAY, RUN SOUTHEASTERLY ALONG A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE SOUTHWESTERLY WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 85 DEGREES 14 MINUTES 58 SECONDS FOR AN ARC DISTANCE OF 48.87 FEET, (THE CHORD OF SAID ARC BEING SOUTH 88 DEGREES 10 MINUTES 48 SECONDS EAST 44.33 FEET), TO A POINT OF COMPOUND RIGHT OF WAY CURVE WITH A RADIUS OF 287.34 FEET THROUGH A CENTRAL ANGLE OF 25 DEGREES 09 MINUTES 38 SECONDS FOR AN ARC DISTANCE OF 128.18 FEET, (THE CHORD OF SAID ARC BEING SOUTH 05 DEGREES 58 MINUTES

KILLEARN ESTATES UNIT NO. 38

A SUBDIVISION OF A PART OF SECTIONS 2 AND 3, TOWNSHIP
1 NORTH, RANGE 1 EAST, AND LYING WITHIN THE CITY LIMITS
OF TALLAHASSEE, FLORIDA.

LEGAL DESCRIPTION (CONTINUED)

DK14691001

31 SECONDS EAST 125.17 FEET) THENCE LEAVING SAID PROPOSED RIGHT OF WAY RUN SOUTH 88 DEGREES 32 MINUTES 12 SECONDS WEST 109.23 FEET, THENCE SOUTH 34 DEGREES 14 MINUTES 09 SECONDS WEST 81.75 FEET, THENCE SOUTH 64 DEGREES 28 MINUTES 44 SECONDS WEST 168.03 FEET, THENCE SOUTH 70 DEGREES 38 MINUTES 35 SECONDS WEST 118.46 FEET, THENCE SOUTH 74 DEGREES 32 MINUTES 38 SECONDS WEST 104.87 FEET, THENCE SOUTH 78 DEGREES 38 MINUTES 51 SECONDS WEST 110.72 FEET, THENCE SOUTH 82 DEGREES 45 MINUTES 04 SECONDS WEST 110.72 FEET, THENCE SOUTH 88 DEGREES 02 MINUTES 07 SECONDS WEST 74.63 FEET, THENCE SOUTH 88 DEGREES 28 MINUTES 52 SECONDS WEST 180.00 FEET, THENCE NORTH 61 DEGREES 46 MINUTES 27 SECONDS WEST 80.82 FEET, THENCE SOUTH 61 DEGREES 35 MINUTES 26 SECONDS WEST 106.45 FEET TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE NORTHEASTERLY, THENCE NORTHWESTERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 280.48 THROUGH A CENTRAL ANGLE OF 12 DEGREES 28 MINUTES 45 SECONDS FOR AN ARC DISTANCE OF 63.01 FEET, (THE CHORD OF SAID ARC BEING NORTH 32 DEGREES 11 MINUTES 42 SECONDS WEST 82.88 FEET), THENCE LEAVING SAID PROPOSED RIGHT OF WAY CURVE, RUN SOUTH 64 DEGREES 01 MINUTE 11 SECONDS WEST 100.48 FEET, THENCE SOUTH 17 DEGREES 04 MINUTES 07 SECONDS EAST 85.00 FEET, THENCE SOUTH 35 DEGREES 47 MINUTES 56 SECONDS EAST 157.10 FEET, THENCE SOUTH 09 DEGREES 35 MINUTES 11 SECONDS WEST 121.85 FEET, THENCE SOUTH 09 DEGREES 30 MINUTES 44 SECONDS EAST 100.00 FEET, THENCE SOUTH 88 DEGREES 28 MINUTES 16 SECONDS WEST 88.23 FEET, THENCE SOUTH 00 DEGREES 30 MINUTES 44 SECONDS EAST 180.00 FEET TO THE SOUTHERLY BOUNDARY OF SECTION 3 TOWNSHIP 1 NORTH, RANGE 1 EAST, LEON COUNTY, FLORIDA, THENCE RUN SOUTH 89 DEGREES 29 MINUTES 18 SECONDS WEST, ALONG SAID SOUTHERLY BOUNDARY, A DISTANCE OF 534.14 FEET, THENCE LEAVING SAID SOUTHERLY BOUNDARY RUN NORTH 35 DEGREES 08 MINUTES 45 SECONDS WEST 433.82 FEET, THENCE NORTH 80 DEGREES 02 MINUTES 30 SECONDS WEST 263.24 FEET, THENCE NORTH 09 DEGREES 57 MINUTES 30 SECONDS EAST 210.00 FEET, TO THE PROPOSED NORTHERLY RIGHT OF WAY OF A 60 FOOT ROADWAY, THENCE SOUTH 80 DEGREES 02 MINUTES 30 SECONDS EAST ALONG SAID PROPOSED RIGHT OF WAY A DISTANCE OF 117.57 FEET TO A POINT OF CURVE TO THE LEFT, THENCE ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 614.01 FEET THROUGH A CENTRAL ANGLE OF 13 DEGREES 31 MINUTES 50 SECONDS FOR AN ARC DISTANCE OF 145.00 FEET, (THE CHORD OF SAID ARC BEING SOUTH 88 DEGREES 49 MINUTES 25 SECONDS EAST 144.86 FEET), THENCE NORTH 03 DEGREES 34 MINUTES 20 SECONDS WEST 150.00 FEET, THENCE NORTH 86 DEGREES 23 MINUTES 44 SECONDS WEST 132.32 FEET, THENCE NORTH 01 DEGREES 08 MINUTES 37 SECONDS EAST 92.56 FEET, THENCE NORTH 12 DEGREES 08 MINUTES 21 SECONDS EAST 538.28 FEET, THENCE NORTH 06 DEGREES 18 MINUTES 28 SECONDS WEST 355.80 FEET TO THE POINT OF BEGINNING, CONTAINING 40.21 ACRES MORE OR LESS.

Unit 39

DR1571(2098

KILLEARN ESTATES UNIT NO. 39, NORTH SECTION.

COMMENCE AT THE SOUTHWEST CORNER OF KILLEARN ESTATES UNIT NO. 7, A SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 24 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA AND RUN NORTH 89 DEGREES 44 MINUTES 24 EAST ALONG THE SOUTH BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, 661.48 FEET, THENCE NORTH 89 DEGREES 38 MINUTES 07 SECONDS EAST ALONG SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, A DISTANCE OF 895.34 TO THE WESTERLY BOUNDARY OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 688, PAGE 601 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, THENCE SOUTH 03 DEGREES 06 MINUTES 29 SECONDS WEST ALONG THE SAID WESTERLY BOUNDARY, A DISTANCE OF 718.22 FEET, THENCE LEAVING SAID PROPERTY, RUN SOUTH 08 DEGREES 50 MINUTES 53 SECONDS EAST 98.39 FEET TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE SOUTHEASTERLY THENCE NORTHEASTERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 1302.94 THROUGH A CENTRAL ANGLE OF 07 DEGREES 13 MINUTES 59 SECONDS FOR AN ARC DISTANCE OF 184.48 FEET, (THE CHORD OF SAID ARC BEING NORTH 88 DEGREES 03 MINUTES 20 SECONDS EAST 184.38 FEET) THENCE NORTH 88 DEGREES 40 MINUTES 20 SECONDS EAST ALONG SAID PROPOSED RIGHT OF WAY A DISTANCE OF 230.58 FEET TO THE EASTERLY BOUNDARY OF SAID PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 688, PAGE 601, THENCE NORTH 01 DEGREES 33 MINUTES 14 SECONDS WEST ALONG SAID EASTERLY BOUNDARY A DISTANCE OF 125.00 FEET, TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING, LEAVING SAID EASTERLY BOUNDARY RUN NORTH 86 DEGREES 28 MINUTES 38 SECONDS EAST 141.04 FEET TO THE WESTERLY BOUNDARY OF A PROPOSED 50 FOOT ROADWAY, SAID POINT LYING ON A CURVE CONCAVE TO THE NORTHEASTERLY, THENCE NORTHWESTERLY ALONG SAID CURVE WITH A RADIUS OF 933.87 FEET THROUGH A CENTRAL ANGLE OF 01 DEGREE 56 MINUTES 31 SECONDS FOR AN ARC DISTANCE OF 31.65 FEET, (THE CHORD OF SAID ARC BEING NORTH 02 DEGREES 33 MINUTES 07 SECONDS WEST 31.64 FEET), THENCE LEAVING SAID PROPOSED RIGHT OF WAY CURVE RUN NORTH 08 DEGREES 25 MINUTES 09 SECONDS EAST 188.85 FEET, THENCE NORTH 01 DEGREE 34 MINUTES 51 SECONDS WEST 185.12 FEET, THENCE NORTH 23 DEGREES 30 MINUTES 12 SECONDS EAST 73.58 FEET, THENCE NORTH 53 DEGREES 12 MINUTES 57 SECONDS EAST 74.47 FEET, THENCE NORTH 83 DEGREES 43 MINUTES 25 SECONDS EAST 79.78 FEET, THENCE NORTH 89 DEGREES 38 MINUTES 40 SECONDS EAST 200.00 FEET, THENCE SOUTH 04 DEGREES 29 MINUTES 24 SECONDS EAST 40.00 FEET, THENCE NORTH 85 DEGREES 03 MINUTES 22 SECONDS EAST 498.71 FEET, THENCE NORTH 89 DEGREES 38 MINUTES 40 SECONDS EAST 325.00 FEET, THENCE SOUTH 12 DEGREES 40 MINUTES 39 SECONDS WEST 13.01 FEET, THENCE SOUTH 52 DEGREES 18 MINUTES 23 SECONDS EAST 288.85 FEET, TO THE PROPOSED SOUTHEASTERLY RIGHT OF WAY OF A 50 FOOT ROADWAY, THENCE NORTH 37 DEGREES 23 MINUTES 25 SECONDS EAST ALONG SAID PROPOSED RIGHT OF WAY A DISTANCE OF 10.00 FEET, THENCE LEAVING SAID PROPOSED RIGHT OF WAY BOUNDARY RUN SOUTH 52 DEGREES 18 MINUTES 23 SECONDS EAST 140.25 FEET, THENCE SOUTH 36 DEGREES 42 MINUTES 34 SECONDS WEST 138.10 THENCE NORTH 37 DEGREES 41 MINUTES 37 SECONDS EAST 100.00 FEET, THENCE NORTH 36 DEGREES 28 MINUTES 47 SECONDS EAST 70.00 FEET, THENCE NORTH 49 DEGREES 38 MINUTES 28 SECONDS EAST 66.23 FEET, THENCE SOUTH 74 DEGREES 41 MINUTES 49 SECONDS EAST 188.97 FEET, THENCE NORTH 88 DEGREES 31 MINUTES 38 SECONDS EAST 185.00 FEET, THENCE NORTH 00 DEGREES 21 MINUTES 35 SECONDS WEST 380.38 FEET TO SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, THENCE RUN SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST ALONG SAID SOUTHERLY BOUNDARY A DISTANCE OF 2017.36 FEET, THENCE SOUTH 89 THENCE SOUTH 89 DEGREES 36 MINUTES 21 SECONDS WEST ALONG SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7 A DISTANCE OF 205.19 FEET TO THE EASTERLY BOUNDARY OF SAID PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 688, PAGE 601, THENCE RUN ALONG SAID EASTERLY BOUNDARY AS FOLLOWS: SOUTH 49 DEGREES 45 MINUTES 07 SECONDS WEST 260.34 FEET, THENCE SOUTH 01 DEGREES 33 MINUTES 14 SECONDS EAST 504.89 FEET TO THE POINT OF BEGINNING, CONTAINING 22.48 ACRES MORE OR LESS.

EXHIBIT "A"

(Page 1 of 2 Pages)

KILLEARN ESTATES UNIT NO. 39, SOUTH SECTION.

COMMENCE AT THE SOUTHWEST CORNER OF KILLEARN ESTATES UNIT NO. 7, A SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 24 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA AND RUN NORTH 89 DEGREES 44 MINUTES 24 SECONDS EAST ALONG THE SOUTH BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, 881.48 FEET, THENCE NORTH 89 DEGREES 38 MINUTES 07 SECONDS EAST ALONG SAID SOUTHERLY BOUNDARY OF KILLEARN ESTATES UNIT NO. 7, A DISTANCE OF 885.34 TO THE WESTERLY BOUNDARY OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 688, PAGE 601 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, THENCE SOUTH 03 DEGREES 06 MINUTES 29 SECONDS WEST ALONG THE SAID WESTERLY BOUNDARY, A DISTANCE OF 718.22 FEET, THENCE LEAVING SAID PROPERTY, RUN SOUTH 08 DEGREES 50 MINUTES 53 SECONDS EAST 98.39 FEET TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE SOUTHEASTERLY THENCE NORTHEASTERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 1302.84 THROUGH A CENTRAL ANGLE OF 07 DEGREES 13 MINUTES 59 SECONDS FOR AN ARC DISTANCE OF 164.48 FEET, (THE CHORD OF SAID ARC BEING NORTH 85 DEGREES 03 MINUTES 20 SECONDS EAST 164.38 FEET), THENCE LEAVING SAID NORTHERLY RIGHT OF WAY RUN SOUTH 01 DEGREE 18 MINUTES 40 SECONDS EAST 80.00 FEET TO THE SOUTHERLY RIGHT OF WAY OF SAID ROADWAY, THENCE LEAVING SAID PROPOSED RIGHT OF WAY RUN SOUTH 00 DEGREES 38 MINUTES 08 SECONDS WEST 110.07 FEET TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING RUN SOUTH 81 DEGREES 36 MINUTES 26 SECONDS WEST 108.45 FEET TO A POINT ON A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE NORTHEASTERLY, THENCE NORTHWESTERLY ALONG SAID PROPOSED RIGHT OF WAY CURVE WITH A RADIUS OF 290.45 THROUGH A CENTRAL ANGLE OF 12 DEGREES 26 MINUTES 45 SECONDS FOR AN ARC DISTANCE OF 63.01 FEET, (THE CHORD OF SAID ARC BEING NORTH 32 DEGREES 11 MINUTES 42 SECONDS WEST 62.80 FEET), THENCE LEAVING SAID PROPOSED RIGHT OF WAY CURVE, RUN SOUTH 54 DEGREES 01 MINUTE 11 SECONDS WEST 180.45 FEET, THENCE SOUTH 17 DEGREES 04 MINUTES 07 SECONDS EAST 65.00 FEET, THENCE SOUTH 35 DEGREES 47 MINUTES 56 SECONDS EAST 157.10 FEET, THENCE SOUTH 09 DEGREES 35 MINUTES 11 SECONDS WEST 124.55 FEET, THENCE SOUTH 00 DEGREES 30 MINUTES 44 SECONDS EAST 100.00 FEET, THENCE SOUTH 88 DEGREES 29 MINUTES 16 SECONDS WEST 88.23 FEET, THENCE SOUTH 00 DEGREES 30 MINUTES 44 SECONDS EAST 180.00 FEET TO THE SOUTHERLY BOUNDARY OF SECTION 3 TOWNSHIP 1 NORTH, RANGE 1 EAST, LEON COUNTY, FLORIDA, THENCE RUN NORTH 88 DEGREES 29 MINUTES 16 SECONDS EAST, ALONG SAID SOUTHERLY BOUNDARY, AND ALONG THE SOUTHERLY BOUNDARY OF SECTION 2, TOWNSHIP 1 NORTH, RANGE 1 EAST, A DISTANCE OF 800.00 FEET, THENCE LEAVING SAID SOUTHERLY BOUNDARY RUN NORTH 00 DEGREES 30 MINUTES 44 SECONDS WEST 231.88 FEET, TO A POINT ON THE PROPOSED SOUTHERLY RIGHT OF WAY OF A 50 FOOT ROADWAY, SAID POINT LYING ON A CURVE CONCAVE TO THE NORTHWESTERLY THENCE NORTHEASTERLY ALONG SAID CURVE WITH A RADIUS OF 333.92 FEET THROUGH A CENTRAL ANGLE OF 53 DEGREES 49 MINUTES 17 SECONDS FOR AN ARC DISTANCE OF 313.67 FEET, (THE CHORD OF SAID ARC BEING NORTH 19 DEGREES 00 MINUTES 28 SECONDS EAST 302.27 FEET), TO A POINT OF REVERSE RIGHT OF WAY CURVE WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 78 DEGREES 46 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 41.77 FEET, TO A POINT OF REVERSE RIGHT OF WAY CURVE WITH A RADIUS OF 1736.27 FEET THROUGH A CENTRAL ANGLE OF 08 DEGREES 33 MINUTES 02 SECONDS FOR AN ARC DISTANCE OF 198.51 FEET TO A POINT OF COMPOUND RIGHT OF WAY CURVE WITH A RADIUS OF 337.34 FEET THROUGH A CENTRAL ANGLE OF 84 DEGREES 35 MINUTES 12 SECONDS FOR AN ARC DISTANCE OF 486.04 FEET TO A POINT OF REVERSE RIGHT OF WAY CURVE WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 81 DEGREES 12 MINUTES 00 SECONDS FOR AN ARC DISTANCE OF 47.75 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF A PROPOSED 60 FOOT ROADWAY, THENCE SOUTHWESTERLY ALONG SAID PROPOSED RIGHT OF WAY, AND A CURVE CONCAVE TO THE SOUTHEASTERLY WITH A RADIUS OF 1129.89 FEET THROUGH A CENTRAL ANGLE OF 05 DEGREES 44 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 113.12 FEET, (THE CHORD OF SAID ARC BEING SOUTH 69 DEGREES 03 MINUTES 47 SECONDS WEST 113.07 FEET), THENCE LEAVING SAID PROPOSED 60 FOOT RIGHT OF WAY, RUN SOUTHEASTERLY ALONG A PROPOSED RIGHT OF WAY CURVE CONCAVE TO THE SOUTHWESTERLY WITH A RADIUS OF 30.00 FEET THROUGH A CENTRAL ANGLE OF 95 DEGREES 14 MINUTES 58 SECONDS FOR AN ARC DISTANCE OF 48.87 FEET, (THE CHORD OF SAID ARC BEING SOUTH 68 DEGREES 10 MINUTES 49 SECONDS EAST 44.33 FEET), TO A POINT OF COMPOUND RIGHT OF WAY CURVE WITH A RADIUS OF 287.34 FEET THROUGH A CENTRAL ANGLE OF 25 DEGREES 09 MINUTES 38 SECONDS FOR AN ARC DISTANCE OF 128.18 FEET, (THE CHORD OF SAID ARC BEING SOUTH 05 DEGREES 58 MINUTES 31 SECONDS EAST 125.17 FEET) THENCE LEAVING SAID PROPOSED RIGHT OF WAY RUN SOUTH 88 DEGREES 32 MINUTES 12 SECONDS WEST 109.23 FEET, THENCE SOUTH 31 DEGREES 14 MINUTES 06 SECONDS WEST 81.75 FEET, THENCE SOUTH 66 DEGREES 28 MINUTES 44 SECONDS WEST 158.03 FEET, THENCE SOUTH 70 DEGREES 38 MINUTES 35 SECONDS WEST 116.48 FEET, THENCE SOUTH 74 DEGREES 32 MINUTES 38 SECONDS WEST 104.97 FEET, THENCE SOUTH 78 DEGREES 38 MINUTES 51 SECONDS WEST 110.72 FEET, THENCE SOUTH 82 DEGREES 45 MINUTES 04 SECONDS WEST 110.72 FEET, THENCE SOUTH 86 DEGREES 02 MINUTES 07 SECONDS WEST 74.63 FEET, THENCE SOUTH 88 DEGREES 28 MINUTES 52 SECONDS WEST 180.00 FEET, THENCE NORTH 61 DEGREES 46 MINUTES 27 SECONDS WEST 80.82 FEET TO THE POINT OF BEGINNING, CONTAINING 16.05 ACRES MORE OR LESS.

Unit 40



GARY GEE ALLEN
REGISTERED LAND SURVEYOR, INC.
LAND SURVEYING - CIVIL ENGINEERING

GARY ALLEN, P.L.S., President
B.J. ALLEN, V.P.
MARK T. HENDERSON, P.L.S., V.P.
R. MICHAEL LATIMER, P.E., V.P.
ROBERT DILWORTH, P.L.S.

4101 APALACHEE PARKWAY

TALLAHASSEE, FLORIDA 32311

PHONE: (904) 877-0541
FAX NO.: (904) 877-0041

LEGAL DESCRIPTION
KILLEARN ESTATES UNIT NO. 40
NOVEMBER 2, 1990

OR1525PC1961

A tract of land lying in Sections 34 and 35, Township 2 North, Range 1 East, Leon County, Florida, being more particularly described as follows:

Begin at a concrete monument marking the most Southeast corner of Lot 9, Block "B", Kimberton, Unit No. 1, a subdivision as per map or plat thereof recorded in Plat Book 6, Page 5 of the Public Records of Leon County, Florida and run thence North 46 degrees 42 minutes 18 seconds East 245.85 feet, thence South 70 degrees 57 minutes 44 seconds East 859.07 feet, thence South 01 degrees 48 minutes 28 seconds East 87.44 feet, thence South 16 degrees 35 minutes 51 seconds East 276.52 feet, thence North 72 degrees 09 minutes 13 seconds East 195.39 feet, thence North 53 degrees 56 minutes 40 seconds East 108.88 feet, thence North 41 degrees 21 minutes 48 seconds East 211.83 feet, thence North 00 degrees 00 minutes 45 seconds East 111.89 feet, thence North 53 degrees 23 minutes 33 seconds East 518.02 feet, thence North 67 degrees 19 minutes 06 seconds East 60.06 feet, thence North 79 degrees 36 minutes 00 seconds East 235.39 feet, thence South 86 degrees 32 minutes 00 seconds East 117.40 feet, thence South 67 degrees 11 minutes 51 seconds East 226.97 feet, thence South 47 degrees 54 minutes 02 seconds East 223.84 feet, thence South 31 degrees 00 minutes 29 seconds East 436.19 feet, thence South 71 degrees 12 minutes 30 seconds East 50.33 feet, thence South 02 degrees 45 minutes 44 seconds West 168.85 feet, thence South 07 degrees 27 minutes 36 seconds West 39.93 feet, thence South 13 degrees 50 minutes 57 seconds West 207.91 feet, thence North 77 degrees 50 minutes 29 seconds West 167.04 feet, thence South 73 degrees 54 minutes 32 seconds West 160.76 feet, thence North 09 degrees 40 minutes 59 seconds West 120.59 feet, thence North 28 degrees 50 minutes 38 seconds West 548.60 feet, thence North 84 degrees 33 minutes 56 seconds West 220.15 feet, thence South 38 degrees 18 minutes 07 seconds West 969.85 feet, thence South 83 degrees 24 minutes 39 seconds West 654.87 feet, thence North 87 degrees 01 minutes 20 seconds West 945.34 feet, thence North 61 degrees 43 minutes 28 seconds West 408.33 feet, thence North 16 degrees 18 minutes 13 seconds East 304.61 feet, thence South 83 degrees 02 minutes 20 seconds East 100.63 feet, thence North 08 degrees 22 minutes 39 seconds East 140.41 feet, thence North 15 degrees 29 minutes 15 seconds West 324.61 feet, thence South 87 degrees 44 minutes 54 seconds East 99.88 feet, thence North 86 degrees 53 minutes 33 seconds East 269.87 feet to the POINT OF BEGINNING; containing 58.05 acres more or less.

EXHIBIT "A"

PAGE 1 of 2 PAGES



GARY GEE ALLEN
REGISTERED LAND SURVEYOR, INC.
LAND SURVEYING - CIVIL ENGINEERING

GARY ALLEN, P.L.S., President
B.J. ALLEN, V.P.
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TALLAHASSEE, FLORIDA 32311

PHONE: (904) 877-0541
FAX NO.: (904) 877-0041

KILLEARN ESTATES UNIT NO. 40
PAGE 2 OF 2
NOVEMBER 2, 1990

CR1525PC1962

I hereby certify that the legal description shown hereon meets
the Minimum Technical Standards for Land Surveying (F.A.C. 21MH-6).

The undersigned surveyor has not been provided a current title
opinion or abstract of matters affecting title or boundary to the
subject property. It is possible that there are deeds of record,
unrecorded deeds, easements or other instruments which could
affect the boundaries.

Gary G. Allen 11-2-90
Gary G. Allen Date
Fls. Reg. Land Surveyor No. 4016

Job NO. 88-1443
Disk No. 68

Unit 41

11-11-91 04:34PM

PLATT SURVEYING

OR 1788P62384

LEGAL DESCRIPTION

Commence at a terra cotta monument marking the southwest corner of Section 2, Township 1 North, Range 1 East, Leon County, Florida, thence run North 89 degrees 48 minutes 02 seconds East 261.96 feet, thence North 89 degrees 53 minutes 27 seconds East 1612.68 feet to a pinched iron pipe marking the southwest corner of property recorded and described at Deed Book 149, Page 400, of the Public Records of Leon County, Florida, thence North 80 degrees 53 minutes 59 seconds West along said boundary 151.11 feet to a pinched iron pipe, thence North 89 degrees 53 minutes 27 seconds East 218.83 feet to the westerly maintained right-of-way of Centerville Road (as per "Maintenance Map" of Centerville Road by Post, Buckley, Schuh and Jernigan for Leon County, Florida, dated May 8, 1983), thence along said westerly maintained right-of-way North 18 degrees 30 minutes 59 seconds East 200.32 feet to the northerly right-of-way boundary of Gardenview Way (60 foot right-of-way), thence along the said northerly right-of-way of Gardenview Way the following: North 71 degrees 07 minutes 47 seconds West 136.12 feet to a concrete monument (#1254) marking the point of a curve to the right, thence along said curve having a radius of 302.90 feet through a central angle of 21 degrees 10 minutes 47 seconds for an arc distance of 333.78 feet (the chord of said arc bears North 80 degrees 32 minutes 24 seconds West 331.86 feet) to the POINT OF BEGINNING. From said POINT OF BEGINNING thence continue along said right of way curve to the right having a radius of 302.90 feet through a central angle of 18 degrees 58 minutes 59 seconds for an arc distance of 314.38 feet (the chord of said arc bears North 39 degrees 58 minutes 30 seconds West 313.79 feet) to a concrete monument (#1254), thence run North 30 degrees 00 minutes 00 seconds West 109.73 feet, thence leaving said right of way run North 42 degrees 37 minutes 27 seconds East 157.37 feet, thence North 40 degrees 55 minutes 02 seconds West 117.78 feet to a concrete monument (#1254) on the easterly boundary of KILLKARN ESTATES UNIT No. 39, a subdivision as per map or plat thereof recorded in Plat Book 10, Page 80 of the Public Records of Leon County, Florida, thence continue along the said easterly boundary the following: North 37 degrees 47 minutes 13 seconds East 90.01 feet to a concrete monument (#1254), thence North 37 degrees 40 minutes 30 seconds East 109.08 feet to a concrete monument (#1254), thence North 38 degrees 28 minutes 42 seconds East 69.86 feet to a concrete monument (#1254), thence North 49 degrees 37 minutes 59 seconds East 44.56 feet to a concrete monument (#1254), thence South 74 degrees 15 minutes 16 seconds East 198.77 feet to a concrete monument (#1254), thence North 86 degrees 33 minutes 01 seconds East 165.01 feet to a concrete monument (#1254), thence North 00 degrees 10 minutes 33 seconds West 180.31 feet to a concrete monument (Plain-top) at the northeast corner of said KILLKARN ESTATES UNIT No. 39, thence North 89 degrees 57 minutes 42 seconds East along the southerly boundary of SHAWDOCK PLAZA, an unrecorded subdivision, a distance of 387.61 feet to the aforesaid westerly maintained right-of-way of Centerville Road, thence southerly along the said westerly maintained right of way the following: South 09 degrees 27 minutes 11 seconds West 153.10 feet, thence South 10 degrees 01 minutes 53 seconds West 100.00 feet, thence South 09 degrees 27 minutes 31 seconds West 100.00 feet, thence South 10 degrees 16 minutes 15 seconds West 100.00 feet, thence South 09 degrees 27 minutes 31 seconds West 100.00 feet, thence South 10 degrees 16 minutes 02 seconds West 99.64 feet, thence South 11 degrees 09 minutes 13 seconds West 1.48 feet, thence leaving said maintained right of way run South 78 degrees 18 minutes 03 seconds West 335.43 feet, thence South 87 degrees 40 minutes 04 seconds West 100.30 feet, thence South 22 degrees 07 minutes 01 seconds West 313.24 feet to the POINT OF BEGINNING, containing 11.93 acres, more or less.

RECORDING NOTICE
Document legibility unsatisfactory
for clean reproduction in the public
records.

Unit 42

EXHIBIT "A"

LEGAL DESCRIPTION

Parcel 1 (REVISED 3/15/02):

Commence at a found terra cotta monument marking the Northwest corner of Section 11, Township 1 North, Range 1 East, Leon County, Florida (as per Certified Corner Record #16880) and thence run North 89 degrees 45 minutes 23 seconds East 65.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING, thence run along the Section line the following three courses: North 89 degrees 45 minutes 23 seconds East 197.03 feet to a concrete monument marking the Southwest corner of Killearn Estates Unit 41, Phase III, as per map or plat thereof recorded in Plat Book 11, Page 59, of the Public Records of Leon County, Florida, thence run along the Southerly boundary of said Killearn Estates Unit 41, Phase III North 89 degrees 53 minutes 27 seconds East 117.15 feet to a concrete monument marking the Southeast corner of said Killearn Estates Unit 41, Phase III, thence North 89 degrees 54 minutes 21 seconds East 525.25 feet, thence run South 31 degrees 55 minutes 25 seconds East 137.60 feet, thence run South 15 degrees 04 minutes 30 seconds West 199.70 feet, thence run South 89 degrees 56 minutes 36 seconds East 145.11 feet, thence run North 16 degrees 18 minutes 08 seconds East 322.94 feet, thence run South 89 degrees 56 minutes 36 seconds East 83.57 feet to a point lying on the Westerly maintained right of way of Centerville Road (as determined from "Maintenance Map" of Centerville Road by Post, Buckley, Schuh & Jernigan for Leon County, dated May 8, 1985 as recorded in Road Plat Book 2, Page 83), thence along said Westerly maintained right of way as follows: South 17 degrees 30 minutes 14 seconds West 118.29 feet, thence South 16 degrees 15 minutes 16 seconds West 100.00 feet, thence South 15 degrees 06 minutes 31 seconds West 100.02 feet, thence South 16 degrees 15 minutes 16 seconds West 300.00 feet, thence leaving said maintained right of way run South 84 degrees 46 minutes 08 seconds West 40.00 feet, thence South 68 degrees 16 minutes 32 seconds West 109.00 feet, thence South 81 degrees 57 minutes 47 seconds West 63.00 feet, thence South 40 degrees 17 minutes 23 seconds West 257.00 feet, thence South 81 degrees 22 minutes 01 seconds West 589.00 feet, thence South 72 degrees 28 minutes 22 seconds West 511.00 feet, thence WEST 564.00 feet, thence run North 00 degrees 11 minutes 55 seconds East 1088.22 feet to the POINT OF BEGINNING, containing 43.162 acres, more or less.



**DECLARATION OF COVENANTS, CONDITIONS
RESTRICTIONS AND EASEMENTS FOR
CAMERON CHASE, UNIT 42 OF KILLEARN ESTATES**

This **DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS** (hereafter, "Declaration") is made 5th day of January, 2010, by **KILLEARN HOMES ASSOCIATION, INC.**, a Florida corporation, having as an address in Leon County, Florida, 2705 Killarney Way, Tallahassee, Florida 32309 (hereafter "Declarant").

STATEMENT OF PRELIMINARY FACTS

The Declaration is the owner of a parcel of real property situated, lying and being in Leon County, Florida, and being described on **Exhibit "A"** attached hereto, also to be known as **CAMERON CHASE, Unit 42 of Killearn Estates**, a subdivision as per map or plat thereof to be recorded in the Plat Book records of the Public Records of Leon County, Florida.

In order to develop and maintain **CAMERON CHASE, Unit 42 of Killearn Estates**, as a residential community and to preserve, protect, and enhance the values and amenities of **CAMERON CHASE, Unit 42 of Killearn Estates**, it is necessary to declare, commit, and subject each of the Lots and the improvements now and hereafter constructed thereon to covenants, conditions, restrictions, regulations, and easements and to delegate and assign to the **KILLEARN HOMES ASSOCIATION, INC.** certain powers and duties of ownership, administration, management, operation, maintenance, and enforcement, all as set forth and provided in this Declaration.

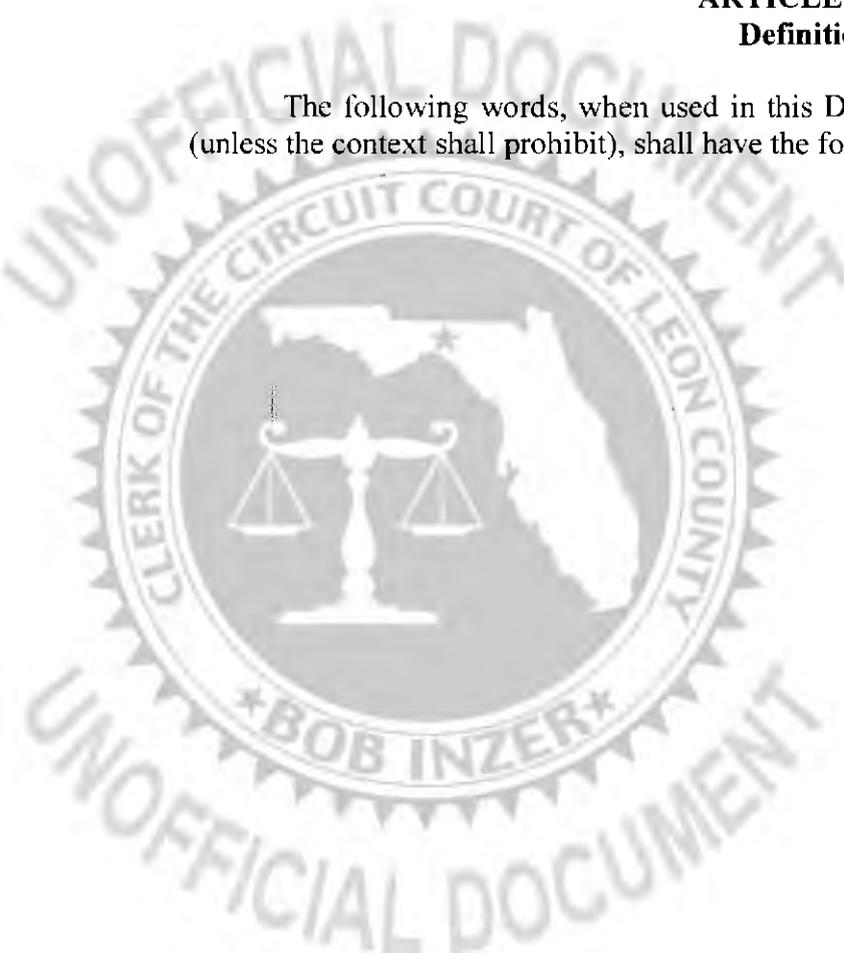
NOW, THEREFORE, for and in consideration of the above premises and of the benefits to be derived by the Declarant and each and every subsequent owner of any of the Lots in **CAMERON CHASE, Unit 42 of Killearn Estates**, the Declarant does hereby set up, establish, promulgate, declare, and impose the hereinafter provided covenants, restrictions, obligations, conditions, and easements on all Lots in **CAMERON CHASE, Unit 42 of Killearn Estates**. These covenants, restrictions, obligations, conditions, and easements shall become effective immediately, and shall run with the land described on the attached **Exhibit "A"** and shall be binding upon the Declarant, the Declarant's successors, personal representatives, heirs, assigns, grantees and transferees derailing title from and through Declarant.

**ARTICLE ONE
Property Subject To This Declaration**

The real property which is and shall be, held, transferred, sold, conveyed and occupied, subject to this Declaration, is located in Leon County, Florida, and is particularly described on the attached **Exhibit "A"**.

**ARTICLE TWO
Definitions**

The following words, when used in this Declaration, or any Supplemental Declarations (unless the context shall prohibit), shall have the following meanings:



Section 2.1- Assessment shall mean that the sum of money initially set forth herein or hereinafter determined by the Board of Directors of the Association which shall be levied against each individual lot owner on a regular or special basis as set forth in there covenants, the Bylaws, and the Rules and Regulations of the Association for the upkeep, maintenance and other duties and responsibilities if the Association.

Section 2.2- Association shall mean and refer to **KILLEARN HOMES ASSOCIATION, INC.**, a nonprofit corporation and its successors and assigns which Association shall be formed for the maintenance and the management of property owned by the Association, and which shall have such other rights, duties and obligations as may be set forth in this Declaration or in such Association's Articles of Incorporation and Bylaws.

Section 2.3- Association lands shall mean the lands remaining as part of the Subdivision after deleting there from the legal description for each and every individual lot, road or street right-of-ways, utility easements and sidewalks dedicated to the City of Tallahassee, and which are hereinafter conveyed to the Association by the Declarant or others.

Section 2.4- Common Area shall mean that area of the recorded plat designated as "Common Area", together with the Association lands defined above.

Section 2.5- Common Expense shall mean that expenses incurred by the Association in the furtherance of its duties and obligations under theses, covenants, the Association's Articles of Incorporation, its Bylaws and its Rules and Regulations.

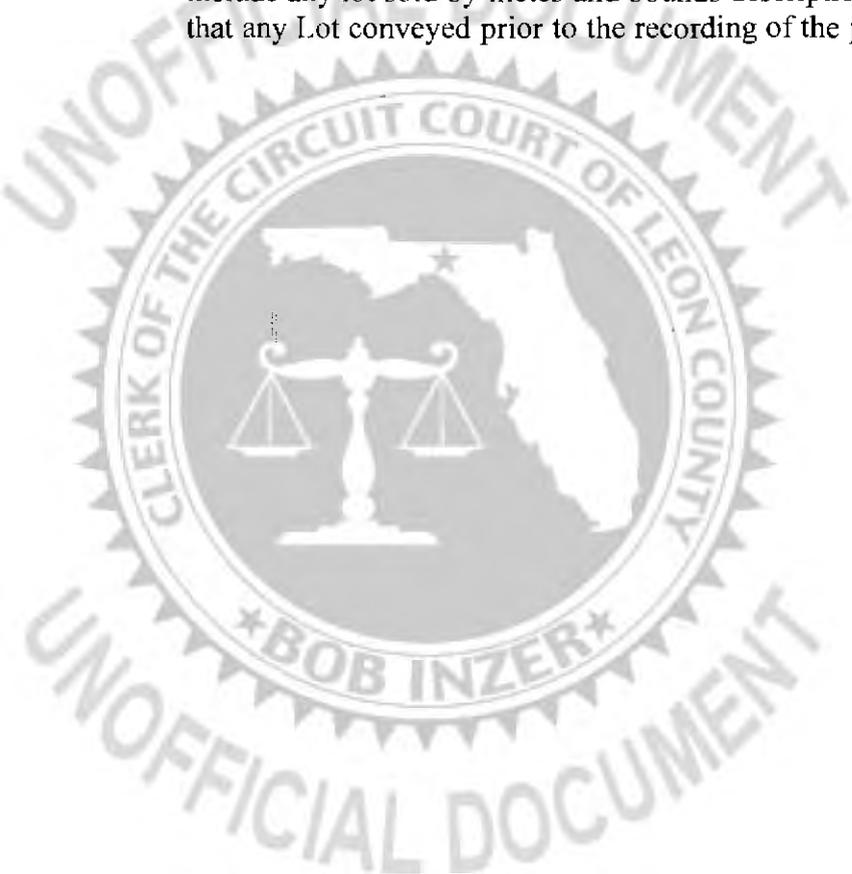
Section 2.6- Common Surplus shall mean the excess of all receipts of the Association, including, but not limited to, the assessments, rents, profits and revenues over the amount of common expenses.

Section 2.7- Declarant shall mean and refer to **KILLEARN HOMES ASSOCIATION, INC.**, a Florida corporation, the owner of the property known as **CAMERON CHASE, Unit 42 of Killearn Estates**.

Section 2.8- Dwelling or Unit shall mean and refer to any portion of a building situated within the Subdivision designed and intended for use and occupancy as a residence by a single family.

Section 2.9- Living Area shall mean and refer to those heated and/or air conditioned areas which are completely finished as living area and which shall not included garages, carports, porches, patios, attics or storage areas.

Section 2.10- Lot or lot shall mean and refer to any plot of land shown upon and recorded subdivision map of the Subdivision, and identified by lot and block description. It shall also include any lot sold by metes and bounds description before the plat is recorded. It is understood that any Lot conveyed prior to the recording of the plat shall be subordinate to the plat when it is



recorded and the grantee of such Lot shall be deemed to have joined in the dedication of the plat as if it had been signed by him/her/them.

Section 2.11- Owner shall mean and refer to the record owner, according to the Public Records of Leon County, Florida, whether one or more persons or entities, of full fee simple title to any Lot situated within the Subdivision. Notwithstanding any applicable theory of mortgage, title pursuant to foreclosure or any proceedings in lieu of foreclosure.

Section 2.12- Subdivision shall mean and refer to **CAMERON CHASE, Unit 42 of Killearn Estates** as described on the attached **Exhibit "A"**.

Section 2.13- Lake shall mean Cascade Lake as shown on the recorded map or plat of the Subdivision.

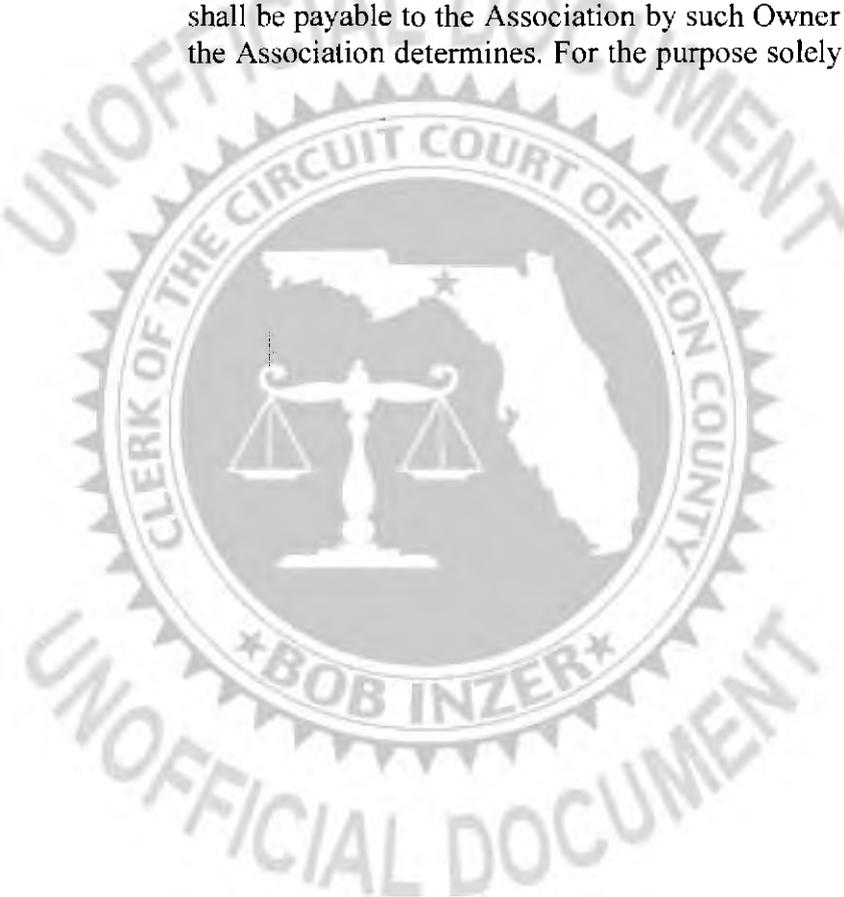
**ARTICLE THREE
Subdivision of Lots Prohibited**

Section 3.1- Subdivision of Lots. No individual Lot as hereinabove defined may be divided or subdivide into smaller lot than that shown on the recorded plat for the Subdivision. No action or suit at law or in equity may be brought to partition any individual Lot or Lots, unless such partition is necessary to correct a title problem or to resolve a boundary dispute.

Section 3.2- Partition of Association Lands. No action or suit at law or in equity may be brought to partition any common lands or land owned or to be owned by the Association.

**ARTICLE FOUR
Maintenance of Lots,
Exteriors of Homes and Association Property**

Section 4.1- Structure Maintenance. Each owner shall maintain any dwelling and accessory structures and all improvements thereon constructed upon an individual Lot in a good state of repair and in an aesthetically pleasing manner consistent with the character and setting of the Subdivision as developed. Without limitation, each Owner shall specifically maintain in safe condition and a proper state of repair and maintenance the roof, windows, painting and staining of exterior walls and trim, steps, porches and any permitted out buildings, yard and driveways. The Association may, by rules duly adopted, reasonably regulate the use of all Association lands and property; provided, however, that any such rule of the Association may not be less restrictive than any covenant set forth herein. If the Owner shall fail to maintain or make repairs or replacement which are the responsibility of such Owner, then, upon a vote of a majority of the Board of Directors of the Association, and after not less than thirty (30) days notice to the Owner, the Association shall have the right (but not the obligation) to enter upon such lot and provide such maintenance or make such repairs or replacements as it deems necessary or appropriate, and the cost thereof shall be added to the assessments chargeable to such Owner and shall be payable to the Association by such Owner under such terms as the Board of Directors of the Association determines. For the purpose solely of performing the maintenance authorized by



this paragraph, the Association's agents or employees shall have the right after reasonable notice to enter upon any such lot during reasonable hours.

Section 4.2- Exterior Maintenance. Each Owner shall maintain the landscaping. Including the trees, shrubs and grass within the boundaries of his/her/their Lot, and the exterior of the dwelling, including any other structure, located on the Lot in a neat and attractive condition. If an Owner shall fail to maintain or make the repairs or replacements which are the responsibility of such Owner, then upon vote of majority of the Board of Directors and after not less than ten (10) days notice to the Owner, the Association shall have the right (but not the obligation) to enter upon such Lot and provide such maintenance or make such repairs or replacements as it deems necessary or appropriate, and the cost thereof shall be payable to the Association by such owner within ten (10) days after the delivery to the Owner of a demand for payment. Amounts due hereunder may be enforced and collected, together with interest and attorney's fees, in the manner assessments are enforced and collected under Article Thirty-Five. For the purpose solely of performing the maintenance authorized by this paragraph, the Association's agents and employees shall have the right, after reasonable notice to the Owner, to enter upon any such Lot between the hours of 7:00 a.m. and 6:00 p.m.

ARTICLE FIVE

Use As Private Single-Family Residences; Leasing

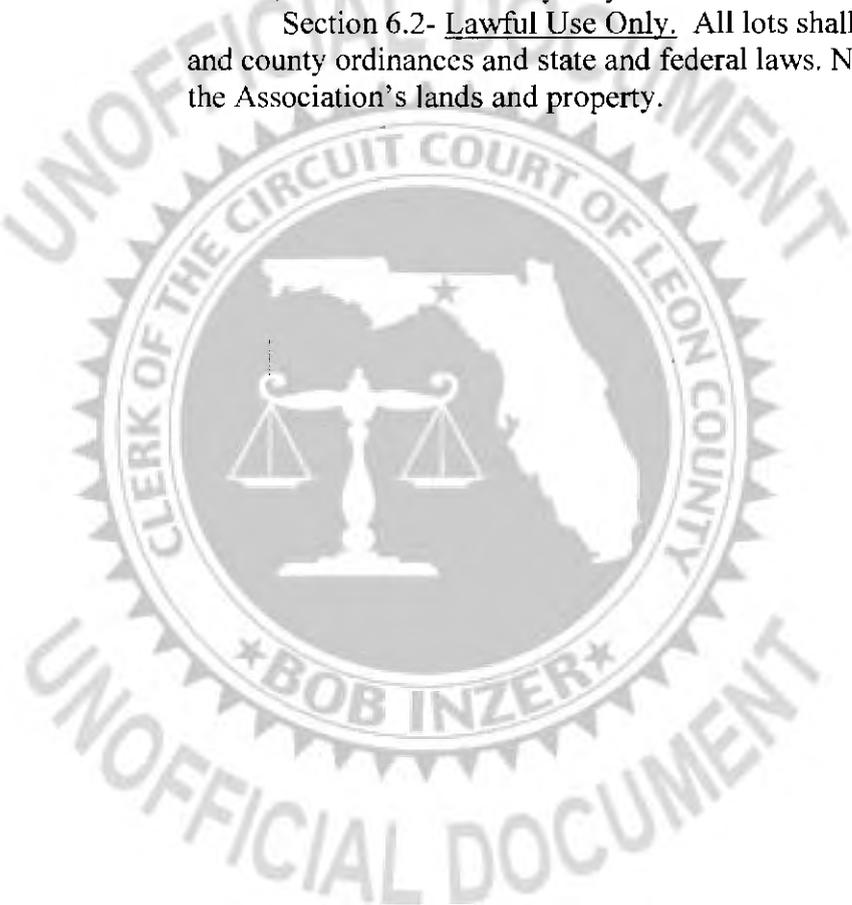
No dwelling, home or living unit constructed on any individual Lot shall be occupied and used except for single-family residential purposes by the individual Lot Owner. This provision is specifically intended and designed to prevent or prohibit the use of homes or dwelling units constructed on individual lots from being used as transient lodging facilities. Casual or social guests of the individual lot owner may utilize or live in such homes for an extended period of time so long as the Owner of the individual lot is also currently living therein. Nothing contained in this provision shall be deemed to prohibit, however, the lease of any dwelling provide for herein, provided any such lease shall be in writing and shall be for a term not less than six (6) months, and provided, further, however, that any such tenant shall comply with all of the terms of this Declaration, the Association Bylaws, and the Rules and Regulations promulgated by the Association. Nothing herein contained shall be deemed to prohibit a person having a contractual obligation to purchase a dwelling unit from taking occupancy of such dwelling unit under a lease arrangement prior to the closing thereof even though the lease arrangement may be for a period of less than six (6) months.

ARTICLE SIX

Nuisances; Lawful Use

Section 6.1- Nuisances. No noxious or offensive activity shall be carried on, in, upon, or around any home or on any Association lands, nor shall anything be done on lots or Association lands which in any way interfere with the quiet and peaceful enjoyment of each individual lot Owner, or which shall in any way increase the rate of insurance for the property.

Section 6.2- Lawful Use Only. All lots shall be used in a manner consistent with all city and county ordinances and state and federal laws. No unlawful use shall be made of any lot or of the Association's lands and property.



ARTICLE SEVEN
Temporary Structures; Accessory Structures

Section 7.1- Temporary Structures. No structure of a temporary character, including, but not limited to the following: construction or storage trailer, mobile home, tent or shack shall be used, placed or erected upon any lot, either temporarily or permanently, nor upon any lands owned by the Association; provided, however, that the Declarant or Owners may maintain temporary offices or storage facilities for construction or remodeling of a dwelling or lot for construction or maintenance of subdivision improvements upon a Regulations promulgated by the Association or the Declarant.

Section 7.2- Accessory Structures. Accessory structures of a permanent nature such as storage buildings, tool room, work shop, swimming pools, pool house, cabanas and the like shall be permitted only if harmonious with the dwelling on the lot, including exterior construction of the same types and colors of materials as the main residence, and provided that plans and specifications for any accessory structure shall be submitted to and approved by the Architectural Control Committee. Mechanical equipment for the operation of swimming pools, hot tubs and the like shall be concealed from view by passers-by and neighboring lots. No accessory structures other than swimming pools, pool houses and cabanas shall be constructed on lots with frontage on the Lake in such a manner to be visible from the Lake. No accessory structures of a height greater than 8 feet may be constructed on Lots 12 through 25 of Block B of the Subdivision.

ARTICLE EIGHT
Signs

No signs or billboards of any kind shall be placed, erected or constructed upon any individual lot or Association lands and displayed to public view except one sign of customary and reasonable dimensions [not to exceed (4) square feet] advising or advertising that the individual lot and the home thereon is for sale. Notwithstanding the above, the Declarant or its agents may erect and maintain during construction of the property and thereafter signs as it deems necessary to advertise the property, home or individual lots for sale. The provision shall not prohibit the Association from erecting directional or informational signs on the property, or a subdivision sign at the entrance to the Subdivision.

ARTICLE NINE
Garbage Disposal

All rubbish, trash and garbage shall be regularly placed in garbage cans or containers specifically intended for such use and such cans or containers and the area where regularly placed shall be kept in a clean and sanitary condition by the Owner. After collection, trash receptacles shall be promptly removed to a designated area screened from view of the road and Lake. All garbage containers and enclosures shall be maintained by the individual Owner. It shall be the responsibility of each Owner to provide for his/her/their own garbage collection.



ARTICLE TEN
Radio and Television Antennas; Utility Connections

Section 10.1- Radio and Television Antennas. No alteration to, modification of or placement of any radio, television or cable system erected by Declarant or any cable system or vendor on the individual lots or on Association lands shall be permitted, nor shall an individual lot owner construct, use or operate any external radio, television antenna, satellite dish or other such apparatus without prior written consent of the Architectural Control Committee. Nothing herein contained shall be deemed prohibit radio and television antenna systems erected or constructed wholly within a dwelling. Small satellite dishes are not prohibited must be on the property of the owner and not duly obstruct view of other property owners.

Section 10.2- Utility Connection. All connection to the dwelling for utilities, including but not limited to water, sewerage, electricity, telephone and cable television shall be run underground from the proper connecting points to the dwelling in such manner as to be acceptable to the authority furnishing such service.

ARTICLE ELEVEN
Pets

No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot, except for dogs, cats and other small household pets, provided they are not kept, bred or maintained for any commercial purpose; and provided further that they shall not be allowed to wander or roam freely about the neighborhood. No more than total of two (2) dogs and two (2) cats shall be maintained by any Owner and all dogs and cats must be leashed or be under the direct control of their respective owner when they are on any property other than upon their respective owner's Lot.

ARTICLE TWELVE
Boats, Trailers and Recreational Vehicles

No boat, trailer, recreational, inoperable motor vehicle or the like may be parked or stored on any street in the Subdivision. In addition, no boat, trailer, recreational vehicle, inoperable motor vehicle or the like shall be parked or stored on any lot except in an approved garage structure.

ARTICLE THIRTEEN
Oil and Mining Operations

No oil drilling, oil development operations, oil refining, quarrying, or mining operation of any kind shall be permitted within the Subdivision, nor shall oil wells, tanks, tunnels, mineral excavations, or shafts be permitted upon or in any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.



ARTICLE FOURTEEN
Minimum Dwelling Size, Setbacks, Garages and Parking

Section 14.1- Dwelling Size. No building shall be permitted to be constructed on any Lot in the Subdivision except a detached single-family residence no more than two (2) stories in height and containing in the main structure not less than 1,650 square feet of living area, exclusive of porches, garages and patios. Residences constructed of Lots 12 through 25 of Block B of the Subdivision shall be no more than one (1) story of height.

Section 14.2- Setbacks.

(a) No building on any lot shall be located on the site nearer to the front property line, rear property line, interior property line or nearer side street line than the minimum building set back lines established by the City of Tallahassee as may be specified on the recorded plat or plats of the Subdivision. The Architectural Control Committee shall have the right, but not the obligation, to grant variances to the setback lines.

(b) No driveway shall be located nearer than (3) feet to an interior property line except that portion thereof constituting a back up or turnaround pad or area, which may be located as near as one (1) foot to such interior property line.

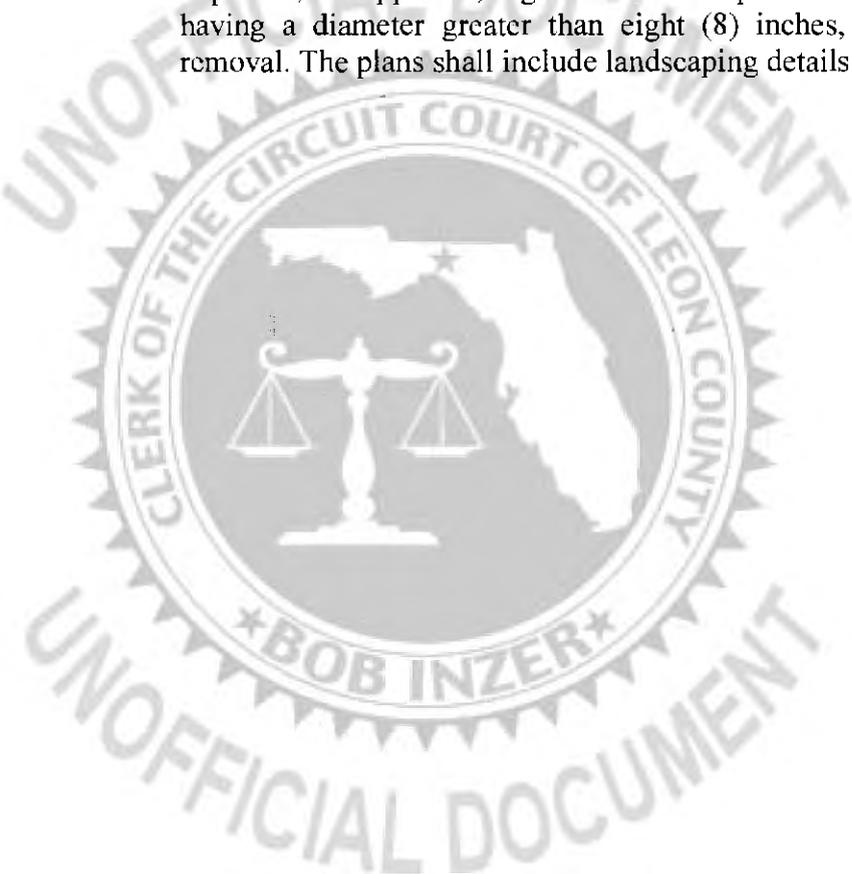
(c) For the purposes of this Section 14.2, eaves, steps and open porches shall not be considered as part of a dwelling, provided, however, that this shall not be construed to permit any portion of a building or other improvement on a lot encroach upon any other lot nor shall this than two (2) feet to any adjacent property line.

Section 14.3- Garages. All residential units shall have a garage with doors. Garage doors shall remain closed except for when necessary to enter the garage.

Section 14.4- Parking. All motor vehicles shall be parked within garages or on owner's driveway on a regular basis. Parking shall be permitted in the streets on a temporary short term basis, (in accordance with City Ordinances), when an owner has guests. Examples of short term include, but are not limited to: (1-2 days for driveway maintenance, guests for functions or visits, etc.). Parking on street should not block emergency vehicles or right of way of any vehicles. No commercial vehicles shall be parked in driveways or in the streets on a permanent basis.

ARTICLE FIFTEEN
Architectural Control

Section 15.1- Approval by Architectural Control Committee. Prior to construction of any improvements on a Lot, the Owner (other than Declarant) shall submit professionally prepared plans and specifications for the proposed construction to the Architectural Control Committee, in duplicate, for approval, together with site plan which shall show by location and type all trees having a diameter greater than eight (8) inches, and indicating thereon tree scheduled for removal. The plans shall include landscaping details of the Lot.



Section 15.2- Completion of Construction. The improvements to such Lot, including landscaping shall be completed in a good and work like fashion within eight (8) months after the commencement of construction unless such completion shall be tendered impossible as a direct result of strikes, fires, national emergencies or natural calamities.

Section 15.3- Criteria for Approval, etc. Any plan submitted to the Architectural Control Committee for approval involving the construction or any improvement to a Lot shall, in addition to requirements set fourth elsewhere in this Declaration, contain appropriate elevations showing the physical appearance of the proposed structure. The Architectural Control Committee shall have absolute right to approve or disapprove such plans and specifications insofar as the quality or type of materials, harmony in external design and color are concerned, as well as the location of the proposal improvements in relation to the surrounding structure and topography. The Architectural Control Committee shall have absolute discretion in the approval of plans for dwelling units and to grant variances from these covenants, conditions and restrictions for good cause shown, if the proposed residence size and location will not materially and adversely affect the quality of the whole development.

The effect of any construction, changes, improvements or alterations on the topography of the property in the Subdivision and the environmental impact thereof may also be considered by the Architectural Control Committee in determining whether approval may be given. If no written notice of approval or disapproval is given by the Architectural Control Committee within thirty (30) days after it has received full plans and specifications as required in this Declaration, approval will be deemed to have been granted by the Architectural Control Committee. Further, no work shall be commenced until such time as the Owner or contractor shall have obtained all permits required by law.

Section 15.4- Architectural Control Committee. No building, fence, wall or other structure shall be commenced, erected or maintained upon The Properties, nor shall any exterior addition to or change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by an architectural control committee composed of three (3) or more representatives appointed by the Board. The Architectural Control Committee shall have the absolute and exclusive right to refuse to approve any such building plans and specifications and lot-grading and landscaping plans which are not suitable or desirable in its opinion for any reason, including purely aesthetic reasons and reasons connected with future development plans of said land or contiguous lands. Such building plans and specifications shall consist of not less than the following: Foundation plans, floor plans of all floors, section details, elevation drawings of all exterior walls, roof plan and plot plan showing location and orientation of all buildings and other structures and improvements proposed to be constructed on the building plot, with all building restriction lines shown. In addition, there shall be submitted to the Architectural Control Committee for approval such samples of building materials proposed to be used as the Architectural Control Committee shall specify and require.



ARTICLE SIXTEEN
Water Supply and Sewerage Disposal

No individual water supply system of any types shall be permitted on any lot unless approved in writing by the Architectural Control Committee. No individual sewerage disposal system shall be permitted on any Lot.

ARTICLE SEVENTEEN
HVAC Systems

No window air conditioning units shall be installed in the front or on any side of any building or in the back of any building located on Lots 12 through 54 of Block B of the Subdivision and all exterior heating and/or air conditioning compressors or other machinery shall be located to the rear or side of the dwelling and landscaped.

ARTICLE EIGHTEEN
Tree Cutting- Penalties

No living tree with a trunk diameter of eighteen (18) inches or greater as measured as measured three feet up from the ground shall be cut or have its roots or root system damaged except as approved in writing by the Architectural Control Committee.

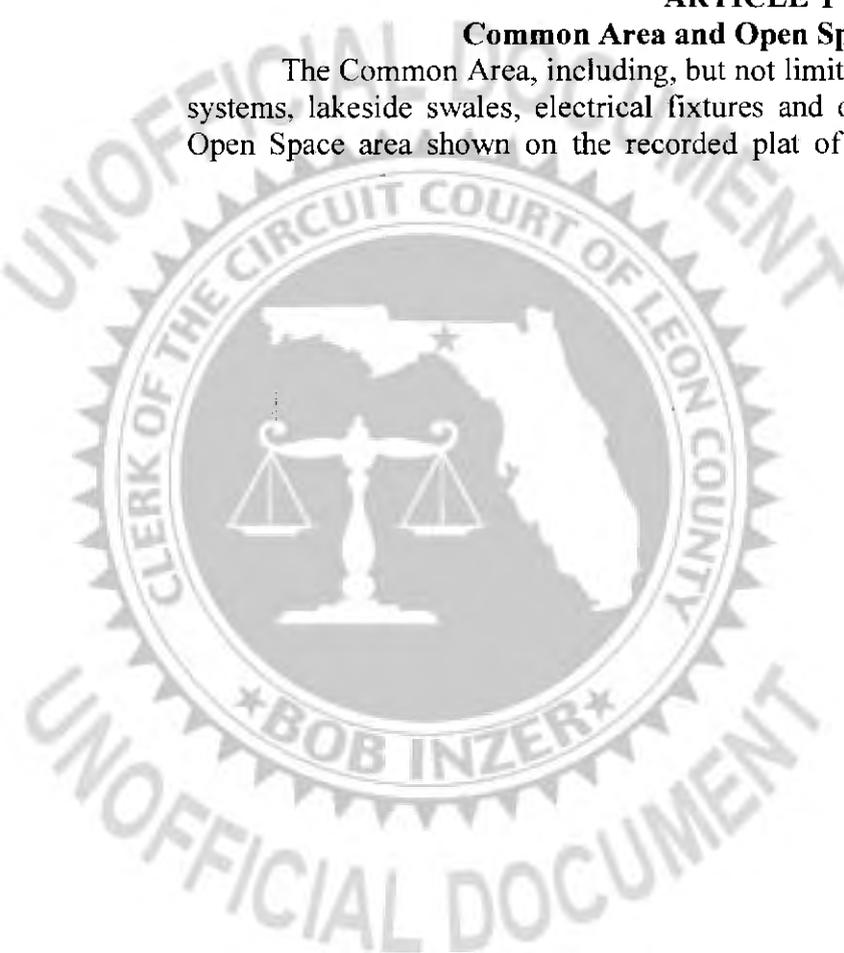
Whosoever shall violate this provision may, in the discretion of the Architectural Control Committee, be assessed such penalty by that Committee as may be deemed to be reasonable and appropriate.

ARTICLE NINETEEN
Use of Motorcycles and Vehicles

No motorcycle, automobile, truck, recreational vehicle, off-road vehicle of two, three, or four wheels shall be operated within the boundaries of the Subdivision except on paved roads and driveways intended for such vehicular operation; provided nothing herein shall be deemed to prohibit the use of such vehicles or construction equipment required on site during the construction of any improvements on a lot or the operation of any customary yard maintenance equipment on any lot or on Association lands operated only in such manner and during such hours so as not to disturb other property owners. No gas powered boats or gas powered personal water craft shall be operated at any time on the Lake.

ARTICLE TWENTY
Common Area and Open Space Area Maintenance

The Common Area, including, but not limited to, the landscaping, signs, fences, sprinkler systems, lakeside swales, electrical fixtures and other improvements located thereon, and the Open Space area shown on the recorded plat of the Subdivision shall be maintained by the



Association to the extent allowed by any restrictions of the recorded plat of the Subdivision and to the extent allowed by any easement required by the City of Tallahassee.

ARTICLE TWENTY-ONE
Solicitation and Advertising

No individual lot owner may carry on any business from his home within the Subdivision which involves pedestrian or automobile traffic to and from such individual owner's home. Notwithstanding this prohibition, the Association is authorized to duly enact Rules and Regulations for the type, nature and character of other businesses which may be carried on by any individual lot owner. No individual lot owner may display any business sign within the Subdivision except for a sign placed upon the property advertising the same for sale as is elsewhere permitted by this Declaration.

ARTICLE TWENTY-TWO
Prohibition Against Firearms

All types of firearms, including but not limited to shotguns, rifles, pistols, pellet guns, BB guns or air rifles are prohibited from being used, discharged or displayed upon any part of the Subdivision, according to State Laws. Notwithstanding the above prohibition, firearms may be kept within the dwelling of any individual lot owner.

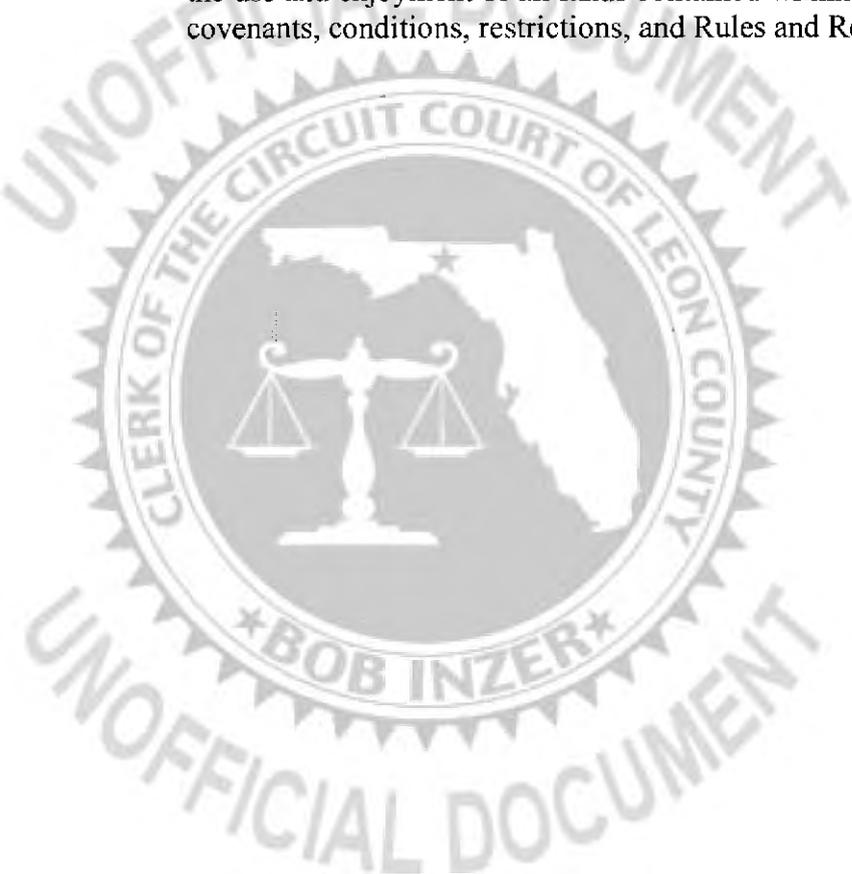
ARTICLE TWENTY-THREE
Fences, Walls & Clotheslines

Section 23.1- Fences and Walls. No Owner shall erect any fence or wall until the plans and specifications showing the nature, kind, shape, height, materials, color, location, landscaping and other details thereof shall have been submitted to and approved by the Architectural Control Committee as to the quality of the materials, harmony, design and colors, as well as its location in regard to the surrounding structure and topography. Approval of a type of fence on one occasion does not mean or assure that the same or a similar fence will be allowed thereafter.

Section 23.2- Clotheslines. Clotheslines or other apparatus for the purpose of drying clothing or other material shall not be permitted in the Subdivision except within the interior of a dwelling unit. No clothes, bedding, or other materials shall be allowed to hang from or be draped upon any exterior portion of any dwelling unit, including patio or deck railings, fences and the like.

ARTICLE TWENTY-FOUR
Notice of Rules to Guests

All licensees, guests, invitees and tenants of each and every lot owner shall be subject to the provisions of this Declaration and of the Rules and Regulations of the Association governing the use and enjoyment of all lands contained within the subdivision, and they shall abide by such covenants, conditions, restrictions, and Rules and Regulations.



ARTICLE TWENTY-FIVE
Maintenance of Original Appearance

No individual Owner shall make or commence any alteration in exterior shape, color or appearance of the dwelling located upon such Lot, nor construct any fence, wall or other pertinent structure in a manner materially changing or altering the appearance or integrity of any Association property, or any individual lot unless or until such changes are approved in writing and in advance by the Architectural Control Committee.

ARTICLE TWENTY-SIX
Driveway and Walkway Construction

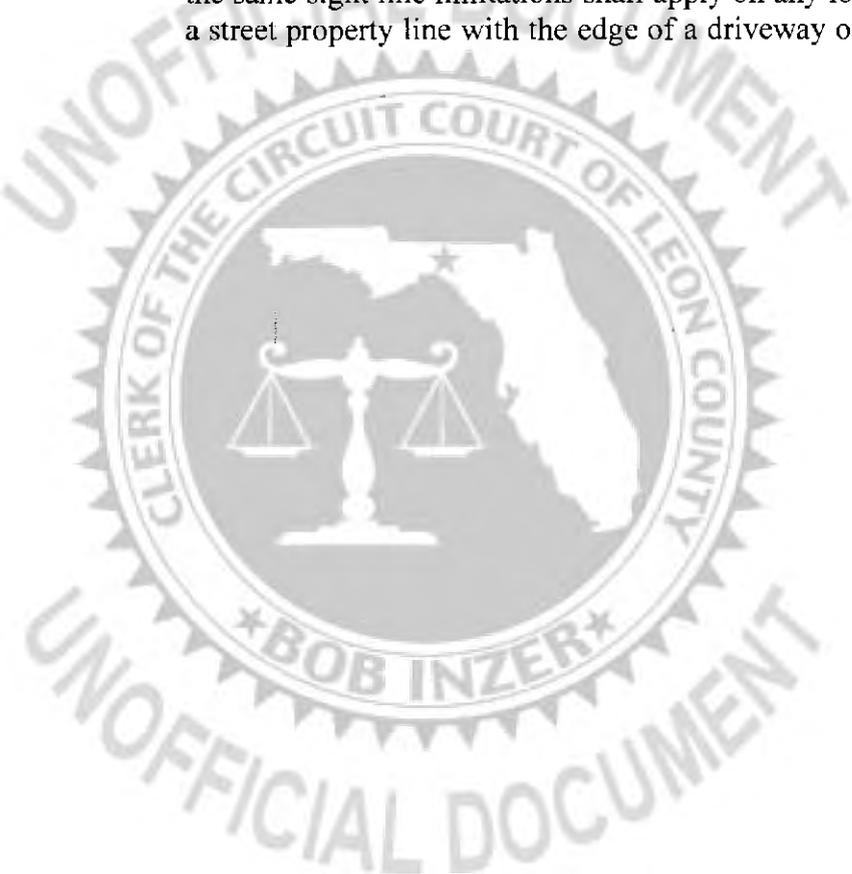
All driveways shall be constructed of materials approved by the Architectural Control Committee. Walkways from the front entrance of any residence to any sidewalk shall be constructed of such materials and shall be placed in such locations as may be approved by the Architectural Control Committee. Where curbs are required to be broken for driveway entrances, the curb shall be repaired in a neat and orderly fashion and in such a way as to be accepted to the Architectural Control Committee.

ARTICLE TWENTY-SEVEN
Mailboxes

No mailbox, paper box or other receptacle of any kind for use in the delivery of mail, newspapers, magazines or similar materials shall be erected or located on any lot unless and until the size, location, design and type of material for said boxes or receptacle shall have been approved in writing by the Architectural Control Committee. The Architectural Control Committee or the Association may develop uniform standards for all such receptacles. If and when United States mail service, newspapers or the like shall indicate a willingness to make a delivery to wall receptacles attached to residences of each Owner, each Owner upon request of the Association or the Architectural Control Committee, shall replace detached boxes or receptacles attached to the dwellings or residences.

ARTICLE TWENTY-EIGHT
Sight Distance at Intersections

No fence, wall, hedge, shrub plant or any structure which obstructs sight lines at elevations between three (3) and ten (10) feet above average grade of the streets or roadways (measured from the center line) lying within the Subdivision shall be placed or permitted to remain on any corner lot within a triangular area formed by the street for a roadway right-of-way line and line connecting them at points twenty-five (25) feet from the intersection of the right-of-way or, in case of a rounded property corner, from the intersection of such right-of-way lines as extended. No fence, wall, hedge, shrub plant or structure shall be maintained in such manner as to obstruct visibility from any alley or driveway located within the Subdivision. For this purpose, the same sight line limitations shall apply on any lot within ten (10) feet from the intersection of a street property line with the edge of a driveway or alley pavement. No trees shall be permitted



to remain within such distances as set forth above unless the foliage line is maintained at a sufficient minimum and maximum height to prevent obstruction of such sight lines.

ARTICLE TWENTY-NINE
Easements

Easements for installations and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat of the Subdivision. Within these easements, no structure, planting, or other materials shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may obstruct or retard the flow of water through drainage channels in the easements. The easement area of each Lot and all improvements in it shall be maintained continuously by the owner of the lot except for those improvements for which a public authority or utility company shall be responsible.

ARTICLE THIRTY
Repair and Construction of Association Lands or Property

Within a reasonable time after a casualty loss or a loss or damage to property for which the Association has the responsibility of maintaining, the Association shall obtain reasonably accurate estimates of the costs of repairing or replacing said damaged property. The Association shall diligently repair or replace any such damaged property.

ARTICLE THIRTY-ONE
Development By Declarant

No provision set forth in this Declaration shall prohibit Declarant, its agents, contractors or subcontractors from performing work and activities as Declarant shall deem necessary, advisable or appropriate in connection with the development of the Subdivision nor shall said provisions in any way prevent or restrict Declarant from maintaining such sign or signs on its property as it, in its sole discretion, shall deem necessary or desirable for the sale or other disposition thereof.

ARTICLE THIRTY-TWO
Killearn Homes Association

Section 32.1- Association. Under the laws of the State of Florida a nonprofit corporation named **KILLEARN HOMES ASSOCIATION, INC.**, and which shall be governed by a Board of Directors.

Section 32.2- Powers and Authority. The Association shall have the authority to enact reasonable Rules and Regulations for the implementation of the covenants, conditions, and restrictions set forth in this Declaration and shall have the following additional powers, duties, and responsibilities:



(a) it shall own in fee simple, maintain, repair and otherwise manage lands and properties of the Association, including all facilities, improvements, personal property and landscaping thereon;

(b) it shall have the right to enact reasonable rules and regulations governing the use of the Association lands and common area consistent with the Covenants, Conditions, and Restrictions set forth in this Declaration;

(c) it shall maintain such policy or policies of insurance as the Board of Directors of the Association shall deem necessary, desirable and advisable;

(d) it shall have the authority to employ a manager or other persons and to contact with independent contractors or business entities to perform all or any part of its duties and responsibilities

(e) it shall have the authority to employ persons and to contract with independent contractors or business entities to perform maintenance as provided in Articles Four and Twenty of this Declaration; and

(f) it shall maintain the restricted, common and conservation area or areas, if any, in compliance with all requirements of the recorded plat of the Subdivision and all governmental entities with jurisdiction over such area or areas.

Section 32.3- Membership. Each owner of a Lot lying within the Subdivision shall upon acquisition of legal title to such Lot, become a member of the Association and shall retain such membership until such time as he/she/they shall no longer own a Lot subject to this Declaration, at which time his/her/their membership in the Association shall terminate.

Section 32.4- Voting. Members shall be all Lot Owners and shall be entitled to one (1) vote for each Lot owned. When there shall exist multiple ownership in a given Lot, all such person shall be members and the vote from such lot shall be exercised as they may determine among themselves, or as may hereinafter be determined by the bylaws. In no event shall more than one (1) vote be cast with respect to any Lot. Notwithstanding, the Declarant shall have the right to appoint all the members of the Board of Directors of the Association until it has sold all of its Lots in the Subdivision.

**ARTICLE THIRTY-THREE
Limitation of Liability of Association**

Notwithstanding the duties of the Association, specifically including, but not limited to, its duties and obligations to maintain or repair Association lands or property, the Association shall not be liable to owners, their invites, licensees or guests for injury or damage caused by any latent defect or condition of Association, or any or damage caused by acts of God or by third parties.



ARTICLE THIRTY-FOUR Enforcement of Obligations

Each Owner shall be governed by and shall comply with the terms of this Declaration, the Articles of Incorporation and Bylaws of the Association, and any rule or regulation adopted by the Association. Upon failure of an Owner to comply, the Association shall have the right to institute legal proceedings at law for damages or in equity to enforce the terms of these provisions against the offending Owner, and the prevailing party shall be entitled to recover costs and a reasonable attorney's fee. The failure to enforce any right, requirement, restriction, covenant or other provision of this Declaration, including any rule or regulation or bylaw adopted by the Association, shall not be deemed to be a waiver of the right to seek any remedy in equity or damages at law against any subsequent noncompliance.

ARTICLE THIRTY-FIVE Assessments and Liens

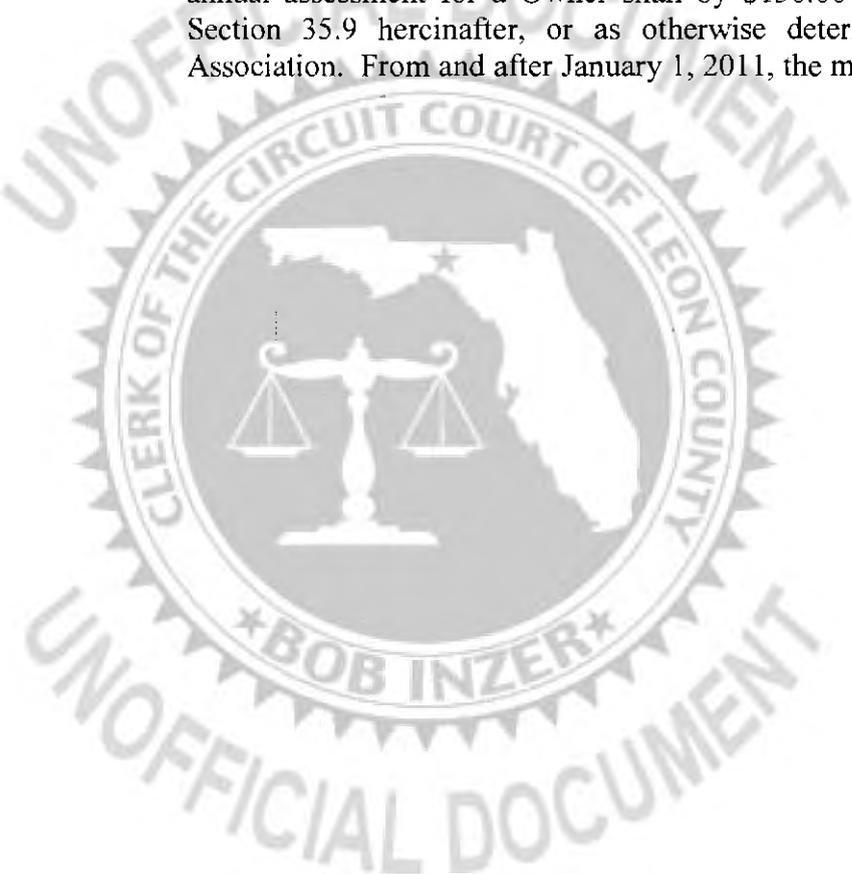
Section 35.1- Covenant to Pay Assessments. Each Owner by acceptance of a deed for a lot located within the Subdivision, whether or not it shall be so expressed in such deed, covenants and agrees to pay to the Association: (a) annual and monthly assessments or charges as herein set forth and as established by the Association from time to time; and (b) special assessments for capital or other improvements or acquisitions, which assessments are to be established and collected as hereinafter provided.

Section 35.2- Lien for Assessments. The annual, monthly and special assessments, together with interest, service charge, if any, costs and reasonable attorney's fees required to collect the same, if any, shall be a lien against the lot owner by the party failing to pay the same; provided however, that any such lien shall be subordinate and inferior to any first mortgage encumbering such lot. Assessments shall be made pursuant to the bylaws of the Association. No owner of a lot may exempt himself from liability for his contribution toward the common expenses by waiver of the use or enjoyment of any of the property owned by the Association or by the abandonment of his lot.

Section 35.3- Purpose of Assessments. Assessments levied by the Association from time to time shall be used exclusively to promote and maintain the recreation, health, safety and welfare of the members of the Association, and for maintaining all the property within the Subdivision as provided in this Declaration.

Section 35.4- Deposits or Assessments. Any and all sums collected from assessments or related payments may be commingled with each other in a single account and shall be held and used for the purposes set forth in this Declaration, the Articles of Incorporation or Bylaws of the Association, or other agreements among the Owners of the Lots subject to this Declaration.

Section 35.5- Maximum Annual Assessments. Until January 1, 2010, the maximum annual assessment for a Owner shall be \$150.00 per year per lot, payable as is provided in Section 35.9 hereinafter, or as otherwise determined by the Board of Directors of the Association. From and after January 1, 2011, the maximum annual assessment may be increased



each year by not more than ten percent (10%) above the maximum assessment for the previous year by the Association's Board of Directors without a vote of the membership.

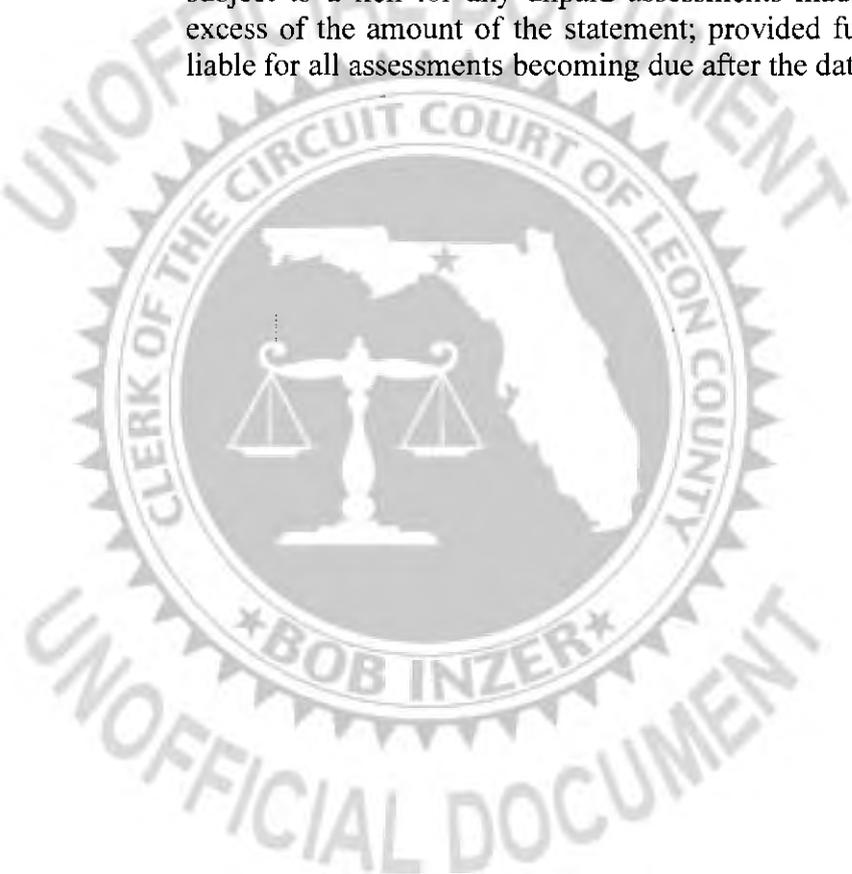
Section 35.6- Monthly Assessments. The Association has the right to maintain landscaping as provided in Section 4.2 of this Declaration. Payment for this service shall be by a monthly assessment as contained in a written notice from the Association to each lot owner. Payments of the monthly assessment are due on the 1st day of each month.

Section 35.7- Special Assessments. In addition to the annual assessments authorized above, the Association may levy in any assessment year a special assessment applicable to that year only for the purpose of defraying in whole or in part the cost of any construction, reconstruction, repair or replacement of any area or improvement which is the responsibility of the Association, including improvements, fixtures, real or personal property related thereto; provided, however, that any such special assessment shall be made in accordance with the Bylaws of the Association.

Section 35.8- Collection of Assessments. Annual assessments shall be due and payable on January 1 of each year beginning January 1, 2010 and shall be delinquent if not paid by the 31st day of March of each year. Special assessments shall be due and payable in accordance with such dates and such terms as may be adopted by the Association. No setoffs shall be allowed to any Owner for repairs or improvements, or services contracted for by any Owner without the express written authorization of the Board of Directors of the Association. The Association shall be entitled to collect from the Owners all legal costs, including a reasonable attorney's fees, incurred by the Association in connection with or incident to the collection of such assessment and/or service charges or fees in connection with the enforcement of the lien resulting therefrom.

Section 35.9- Service Charge for Delinquent Assessment. In order to defray the cost of bookkeeping, billing, and related expenses, all assessments not paid by the due date of March 31st of each year shall bear a service charge of \$25 or the maximum allowed by Florida Statutes, whichever is greater. In addition, a fine of \$50 for the first day (April 1st) and \$5 everyday thereafter shall be imposed against Owner for delinquent assessments.

Section 35.10- Effective Transfer of Title on Assessment. The sale or transfer of any lot shall not adversely affect the assessment lien; provided, however, the sale or transfer of any lot pursuant to a mortgage foreclosure or any proceeding or transfer in lieu thereof shall extinguish the lien of such assessment as to payments which became due prior to such sale or transfer. No sale or transfer, however, shall relieve such lot from liability for any assessment thereafter becoming due or from the lien thereof. In any voluntary conveyance, the Grantee of a lot upon which there shall exist any unpaid assessments due the Association, shall be jointly and severally liable with the Grantor for all such unpaid assessments up to the time of such voluntary conveyance without prejudice to the rights of the Grantee shall be entitled to a statement from the Association setting forth the amount of the unpaid assessments against the Grantor to the Association upon request, and such Grantee shall not be liable for, nor shall the lot conveyed be subject to a lien for any unpaid assessments made by the Association against the Grantor in excess of the amount of the statement; provided further, however, the Grantee thereof shall be liable for all assessments becoming due after the date of such transfer.



Section 35.11- Rights of Declarant. Notwithstanding anything herein to the contrary, Declarant shall be exempt from the payment of assessments against Lots owned by the Declarant. Declarant covenants and agrees that so long as this exemption is in effect, Declarant shall pay on behalf of the Association, or reimburse the Association for, all expenses incurred by the Association in the performance of its duties hereunder, exclusive of reserves, in excess of the amount of assessments levied against owners other than Declarant; provided, however, that in no event shall Declarant be liable for payment of an amount in excess of the amount Declarant would be obligated to pay if this exemption from payment of assessments was not in effect.

ARTICLE THIRTY-SIX
Amendments to this Declaration; Waiver of Minor Violations

(a) The Declarant, at any time, further reserves and shall have the sole right to amend this Declaration for the purpose of curing any ambiguity or any inconsistency between the provisions contained in this Declaration. The Declarant, at any such time, further reserves the right to waive any violation of these covenants, conditions, and restrictions (including, without limiting the foregoing, violations of building restriction lines or minimum living area requirements and the provisions hereof relating thereto) if the Declarant, in its sole judgment, determines such violation or need for amendment to be minor.

(b) The Architectural Control Committee shall have the power and authority to waive any violation of this Declaration where in judgment of the Architectural Control Committee, any such violation is judged to be minor.

ARTICE THIRTY-EIGHT
Termination of Declarant's Legal Obligation

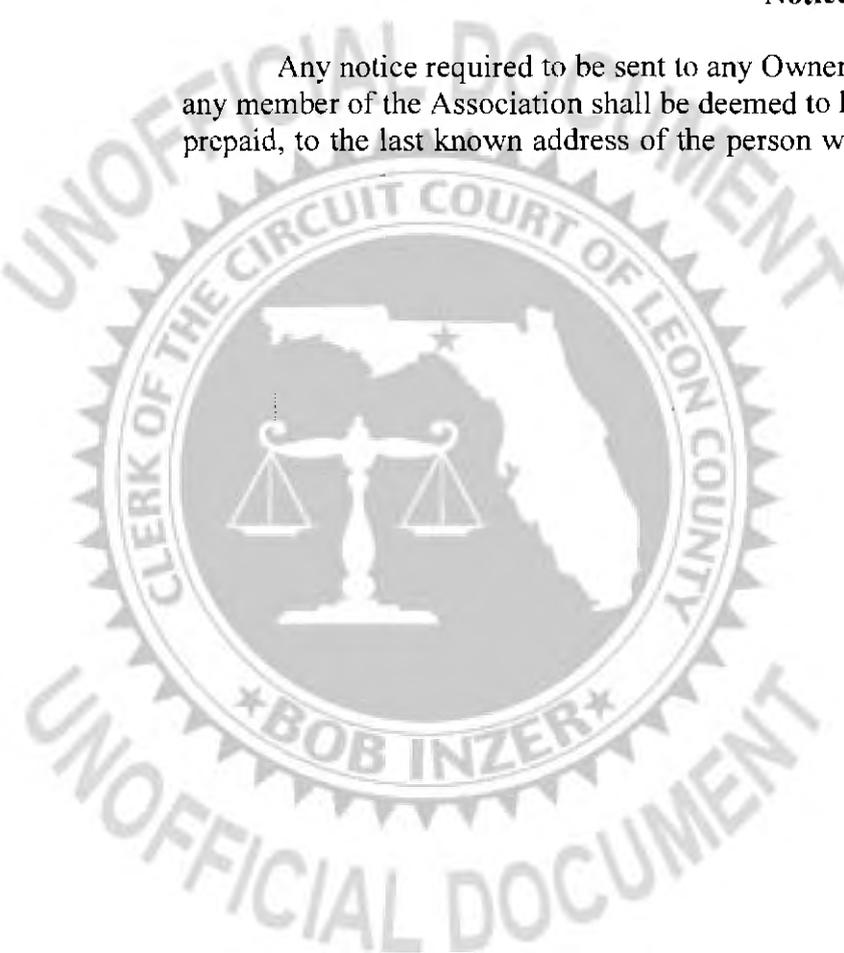
At such time as the Declarant shall sell, convey or otherwise dispose of its interest in and to all of the Lots in the Subdivision, Declarant shall be entitled to be relieved of the performance of any duty or obligation set forth herein.

ARTICLE THIRTY-NINE
Duration

These restrictive covenants shall run with the land and shall be binding until December 31, 2025, after which time they shall be automatically extended for two (2) successive periods of ten (10) years unless as instrument in writing signed by at least a majority of the then lot owners has been recorded agreeing to change, amend or terminate said covenants and restrictions.

ARTICLE FORTY
Notice

Any notice required to be sent to any Owner under the provisions of this Declaration or to any member of the Association shall be deemed to have been properly sent when mailed, postage prepaid, to the last known address of the person who appears as the record Owner according to



the Public Records of Leon County, Florida, at the time of such mailing, or at such other address as may be designated in writing to the Association or its Board of Directors shall be sent to the address of the Association reflected by the Division of Corporations, Department of State.

ARTICLE FORTY-ONE
Miscellaneous

Section 41.1- Titles. The titles of each article, section or paragraph and subparagraph of this Declaration are for the convenience only and shall be deemed to have no legal effect in the interpretation of the provisions of this Declaration.

Section 41.2- Severability. The invalidity in whole or in part of any covenant, condition, restriction, agreement, provisions, article, section, subsection sentence, clause, phrase, or word contained in this Declaration, or any Article of Incorporation, Bylaws and Rules and Regulations of the Association shall not affect the validity of the remaining portions thereof.

Section 41.3- Governing Law. This declaration shall be governed in all respects under the laws of the State of Florida.

Section 41.4- Reference to Gender, Number. The reference to the masculine, the feminine, neuter, singular or plural, as the case may be, shall mean and include the opposite sex, gender or number wherever the context so requires or admits.

IN WITNESS WHEREOF, the Declarant has caused this Declaration of Covenants, Conditions, Restrictions and Easements to be executed as of the day and year first above written.

WITNESSES:

KILLEARN HOMES ASSOCIATION, INC.,
a Florida Corporation

Brad Trotman

By: Bob Ippolito

Print Name: Brad Trotman

Print Name: Bob Ippolito
Its President

Clara Johnson

Print Name: Clara Johnson

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me this 5th day of January, 2010, by Bob Ippolito as President of Killearn Homes Association, Inc., a Florida corporation on behalf of the corporation who is personally known to me or has produced _____ as identification.

Joanie Debert-Dukes Trotman
Notary Public
My Commission Expires:

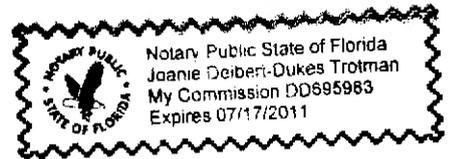


EXHIBIT "A"

LEGAL DESCRIPTION

Parcel 1 (REVISED 3/15/02):

Commence at a found terra cotta monument marking the Northwest corner of Section 11, Township 1 North, Range 1 East, Leon County, Florida (as per Certified Corner Record #16880) and thence run North 89 degrees 45 minutes 23 seconds East 65.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING, thence run along the Section line the following three courses: North 89 degrees 45 minutes 23 seconds East 197.03 feet to a concrete monument marking the Southwest corner of Killearn Estates Unit 41, Phase III, as per map or plat thereof recorded in Plat Book 11, Page 59, of the Public Records of Leon County, Florida, thence run along the Southerly boundary of said Killearn Estates Unit 41, Phase III North 89 degrees 53 minutes 27 seconds East 1117.15 feet to a concrete monument marking the Southeast corner of said Killearn Estates Unit 41, Phase III, thence North 89 degrees 54 minutes 21 seconds East 525.25 feet, thence run South 31 degrees 55 minutes 25 seconds East 137.60 feet, thence run South 15 degrees 04 minutes 30 seconds West 199.70 feet, thence run South 89 degrees 56 minutes 36 seconds East 145.11 feet, thence run North 16 degrees 18 minutes 08 seconds East 322.94 feet, thence run South 89 degrees 56 minutes 36 seconds East 83.57 feet to a point lying on the Westerly maintained right of way of Centerville Road (as determined from "Maintenance Map" of Centerville Road by Post, Buckley, Schuh & Jernigan for Leon County, dated May 8, 1985 as recorded in Road Plat Book 2, Page 83), thence along said Westerly maintained right of way as follows: South 17 degrees 30 minutes 14 seconds West 118.29 feet, thence South 16 degrees 15 minutes 16 seconds West 100.00 feet, thence South 15 degrees 06 minutes 31 seconds West 100.02 feet, thence South 16 degrees 15 minutes 16 seconds West 300.00 feet, thence leaving said maintained right of way run South 84 degrees 46 minutes 08 seconds West 40.00 feet, thence South 68 degrees 16 minutes 32 seconds West 109.00 feet, thence South 81 degrees 57 minutes 47 seconds West 63.00 feet, thence South 40 degrees 17 minutes 23 seconds West 267.00 feet, thence South 81 degrees 22 minutes 01 seconds West 589.00 feet, thence South 72 degrees 28 minutes 22 seconds West 511.00 feet, thence WEST 564.00 feet, thence run North 00 degrees 11 minutes 55 seconds East 1088.22 feet to the POINT OF BEGINNING, containing 43.162 acres, more or less.



KILLEARN HOMES ASSOCIATION, INC.
Board Resolution 09-01
Declaration of Covenants & Restrictions for Cameron Chase, Unit 42

WHEREAS, Killearn Homes Association, Inc. ("Association") is empowered to exercise all of the powers, duties and authority vested in or delegated to this Association by provisions of the Bylaws, Articles of Incorporation, and the Declaration of Covenants, and other state and federal laws;

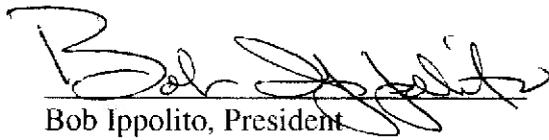
WHEREAS, the Association's Board of Directors believes that it would be beneficial to the Association to accept the revisions to the Declaration of Covenants and Restrictions for Cameron Chase, Unit 42 ("Cameron Chase"), for purposes of increasing the amount of association dues collectible by the Association, and for promoting uniform enforcement of covenants and restrictions applicable to Cameron Chase.

WHEREAS, the revised Covenants and Restrictions were adopted by a majority of members entitled to vote at a special member meeting on December 14, 2009.

NOW THEREFORE, BE IT RESOLVED THAT the Board of Directors resolves to adopt the attached Declaration of Covenants and Restrictions for Cameron Chase.

Certification

I hereby certify that the above resolution was adopted by the Association Board of Directors on January 5th, 2010.


Bob Ippolito, President


Allen Nobles, Secretary



CAMERON CHASE HOMEOWNERS' ASSOCIATION, INC.

Board Resolution 09-01

Dissolution of Cameron Chase Homeowners' Association, Inc.

WHEREAS, Cameron Chase Homeowners' Association, Inc. ("Association") is empowered to exercise all of the powers, duties and authority vested in or delegated to this Association by provisions of the Bylaws, Articles of Incorporation, and the Declaration of Covenants, and other state and federal laws;

WHEREAS, the Association's board of directors believes it would be beneficial to the Association to dissolve and that it has the authority to do so as it is intended to benefit the association through providing a more uniform method of collecting dues and in having applicable covenants and restrictions enforced;

NOW THEREFORE, BE IT RESOLVED THAT the board of directors resolves to dissolve the Association, including means necessary to conform subject dues collection methods and publication and enforcement of Association covenants and restrictions, and further this matter was presented to the Association for a special vote pursuant to Association rules and duly adopted on December 14, 2009.

Certification

I hereby certify that the above resolution was adopted by the Association Board of Directors on January _ 2010.

Hosea Battles
Hosea Battles, President



Cameron Chase Homeowners Voting Results

Customer	Vote	Mailing address	City	State	Zip	Physical address
Abrams, Harriet D04		3367 Cameron Chase Dr.	Tallahassee	FL	32309	3367 Cameron Chase Dr.
Adams-MacLeish A04		3526 Brookstone Court	Pearland	TX	77584	3444 Cameron Chase Dr.
Ahmed A07		3426 Cameron Chase Dr.	Tallahassee	FL	32309	3426 Cameron Chase Dr.
Anderson B09	Y	3308 Dry Creek Dr.	Tallahassee	FL	32309	3308 Dry Creek Dr.
Andrades C26		3354 Cameron Chase Dr.	Tallahassee	FL	32309	3354 Cameron Chase Dr.
Anthony, Stephen B44	Y	3383 Aqua Ridge Way	Tallahassee	FL	32309	3383 Aqua Ridge Way
Aziz C20	Y	3318 Cameron Chase Drive	Tallahassee	FL	32309	3318 Cameron Chase Dr.
Battles D08	Y	3343 Cameron Chase Dr.	Tallahassee	FL	32309	3343 Cameron Chase Dr.
Bennett B48		3403 Cameron Chase Drive	Tallahassee	FL	32309	3403 Cameron Chase Dr.
Bennett C19		3312 Cameron Chase Dr	Tallahassee	FL	32309	3312 Cameron Chase Dr
Berto C30	Y	3378 Cameron Chase Dr	Tallahassee	FL	32309	3378 Cameron Chase Dr
Beverly C16	Y	2720 Breton Ridge Drive	Tallahassee	FL	32312	3303 Dry Creek Dr.
Blalock A03	Y	3450 Cameron Chase Dr.	Tallahassee	FL	32309	3450 Cameron Chase Dr
Blayneh A02	Y	3456 Cameron Chase Dr.	Tallahassee	FL	32309	3456 Cameron Chase Dr
Boccio-Jones BO1	Y	3356 Dry Creek Drive	Tallahassee	FL	32309	3356 Dry Creek Dr.
Bourgeois-Goldstein D23	Y	3346 Aqua Ridge Way	Tallahassee	FL	32309	3346 Aqua Ridge Way
Brock A15	Y	3417 Aqua Ridge Way	Tallahassee	FL	32309	3417 Aqua Ridge Way
Brockmeier D17	Y	3310 Aqua Ridge Way	Tallahassee	FL	32309	3310 Aqua Ridge Way
Campbell, W. B20	Y	2848 Frogs Leap Way	Tallahassee	FL	32309	2848 Frogs Leap Way
Colak B15		2878 Frogs Leap Way	Tallahassee	FL	32309	2878 Frogs Leap Way
Cotter D21	Y	3334 Aqua Ridge Way	Tallahassee	FL	32309	3334 Aqua Ridge Way
Crow B53		3433 Cameron Chase Dr	Tallahassee	FL	32309	3433 Cameron Chase Dr
Douglas B49	Y	3409 Cameron Chase Drive	Tallahassee	FL	32309	3409 Cameron Chase Dr
Faircloth, Patricia (was Hill's Res) C09		3343 Dry Creek Dr.	Tallahassee	FL	32309	3343 Dry Creek Dr.
Ford, Don D26	Y	2828 Roscommon Dr.	Tallahassee	FL	32309	3364 Aqua Ridge Way
Ford, Philbert J C13		3319 Dry Creek Dr.	Tallahassee	FL	32309	3319 Dry Creek Dr.
Fore B07	Y	3320 Dry Creek Dr	Tallahassee	FL	32309	3320 Dry Creek Dr.
Forshay A14	Y	3413 Aqua Ridge Way	Tallahassee	FL	32309	3413 Aqua Ridge Way
Friend A06		3432 Cameron Chase Dr.	Tallahassee	FL	32309	3432 Cameron Chase Dr
Froelich A11	Y	3402 Cameron Chase Dr.	Tallahassee	FL	32309	3402 Cameron Chase Dr
Galloway A05	Y	3438 Cameron Chase Dr.	Tallahassee	FL	32309	3438 Cameron Chase Dr
Gardner D03	Y	3373 Cameron Chase Dr	Tallahassee	FL	32309	3373 Cameron Chase Dr
Gould A18 Garry and Denise	Y	3380 Dry Creek Drive	Tallahassee	FL	32309	3380 Dry Creek Dr.
Graves D16		3304 Aqua Ridge Way	Tallahassee	FL	32309	3304 Aqua Ridge Way
Green D22		3340 Aqua Ridge Way	Tallahassee	FL	32309	3340 Aqua Ridge Way
Grissom, Susan L. D20	Y	3328 Aqua Ridge Way	Tallahassee	FL	32309	3328 Aqua Ridge Way
Gubitti B10	Y	3109 Ansley Park Drive	Tallahassee	FL	32309	3304 Dry Creek Dr.
Hagen B06	Y	3326 Dry Creek Drive	Tallahassee	FL	32309	3326 Dry Creek Dr.
Hanna B24	Y	2826 Frogs Leap Way	Tallahassee	FL	32309	2826 Frogs Leap Way
Harrell C24	Y	3342 Cameron Chase Dr.	Tallahassee	FL	32309	3342 Cameron Chase Dr
Harris, Alicia B36	Y	2813 Aqua Ridge Court	Tallahassee	FL	32309	2813 Aqua Ridge Court
Harris, Kay B34	Y	2803 Aqua Ridge Court	Tallahassee	FL	32309	2803 Aqua Ridge Court
Hawkins C08	Y	3349 Dry Creek Dr.	Tallahassee	FL	32309	3349 Dry Creek Dr.
Higgs C22 LIEN		3330 Cameron Chase Dr.	Tallahassee	FL	32309	3330 Cameron Chase Dr
Hobbs B43		3377 Aqua Ridge Way	Tallahassee	FL	32309	3377 Aqua Ridge Way
Hook B38		3345 Aqua Ridge Way	Tallahassee	FL	32309	3345 Aqua Ridge Way
Horne B08	Y	3314 Dry Creek Dr.	Tallahassee	FL	32309	3314 Dry Creek Dr.
Howard D12		50 S Street NW	Washington	DC	20001	3319 Cameron Chase Dr



Cameron Chase Homeowners Voting Results

Customer	Vote	Mailing address	City	State	Zip	Physical address
Huegli B46	Y	3391 Aqua Ridge Way	Tallahassee	FL	32309	3391 Aqua Ridge Way
Hu-Gao D06		3355 Cameron Chase Dr.	Tallahassee	FL	32309	3355 Cameron Chase Dr
Hyde A09		3414 Cameron Chase Drive	Tallahassee	FL	32309	3414 Cameron Chase Dr
Jackson, H. B21 LIEN		2842 Frogs Leap Way	Tallahassee	FL	32309	2842 Frogs Leap Way
Janapatti B19		2854 Frogs Leap Way	Tallahassee	FL	32309	2854 Frogs Leap Way
Jenness A16		3392 Dry Creek Dr	Tallahassee	FL	32309	3392 Dry Creek Dr.
Johnson B13	Y	2890 Frogs Leap Way	Tallahassee	FL	32309	2890 Frogs Leap Way
Johnson B47	Y	3395 Aqua Ridge Way	Tallahassee	FL	32309	3395 Aqua Ridge Way
Johnson, Angela B17		2866 Frogs Leap Way	Tallahassee	FL	32307	2866 Frogs Leap Way
Jordan B02	Y	3350 Dry Creek Drive	Tallahassee	FL	32309	3350 Dry Creek Dr.
Jorden B14	Y	2884 Frogs Leap Way	Tallahassee	FL	32309	2884 Frogs Leap Way
Kacer B31	Y	2812 Aqua Ridge Court	Tallahassee	FL	32309	2812 Aqua Ridge Court
Kemp B28	Y	3315 Aqua Ridge Way	Tallahassee	FL	32309	3315 Aqua Ridge Way
Klein A10 LIEN FORECLOSURE		3408 Cameron Chase Drive	Tallahassee	FL	32308	3408 Cameron Chase Dr
Korte B27	Y	3309 Aqua Ridge Way	Tallahassee	FL	32309	3309 Aqua Ridge Way
Kosanovich-Grek B26	Y	3303 Aqua Ridge Way	Tallahassee	FL	32309	3303 Aqua Ridge Way
Kwon C23		3336 Cameron Chase Dr.	Tallahassee	FL	32309	3336 Cameron Chase Dr
Laney A20	Y	3368 Dry Creek Dr.	Tallahassee	FL	32309	3368 Dry Creek Dr.
Lato, Scott and Amy Litz B23		2830 Frogs Leap Way	Tallahassee	FL	32309	2830 Frogs Leap Way
Lenard C32		3390 Cameron Chase Drive	Tallahassee	FL	32309	3390 Cameron Chase Dr
Leon Co. Disenfranchised Chil.Trust B52		3427 Cameron Chase Drive	Tallahassee	FL	32309	3427 Cameron Chase Dr
Leshne B11	Y	3300 Dry Creek Dr.	Tallahassee	FL	32309	3300 Dry Creek Dr.
Luebkekmann D02	Y	3379 Cameron Chase Dr.	Tallahassee	FL	32309	3379 Cameron Chase Dr
Lyle C01	Y	3385 Dry Creek Drive	Tallahassee	FL	32309	3385 Dry Creek Dr.
Maggard C31	Y	3384 Cameron Chase Dr.	Tallahassee	FL	32309	3384 Cameron Chase Dr
Mally D10		3331 Cameron Chase Drive	Tallahassee	FL	32309	3331 Cameron Chase Dr
Manzueta B50		3415 Cameron Chase Dr.	Tallahassee	FL	32309	3415 Cameron Chase Dr
McGuire B51	Y	3421 Cameron Chase Dr.	Tallahassee	FL	32309	3421 Cameron Chase Dr
McKeon D24 Kelly Shivel		3352 Aqua Ridge Way	Tallahassee	FL	32309	3352 Aqua Ridge Way
Melik-Allaverdian C04		3486 Gardenview way	Tallahassee	FL	32309	3369 Dry Creek Dr.
Moghadam, Farid A12		3405 Aqua Ridge Way	Tallahassee	FL	32309	3405 Aqua Ridge Way
Montalbano C28		3366 Cameron Chase Drive	Tallahassee	FL	32309	3366 Cameron Chase Dr
Morton B29	Y	3321 Aqua Ridge Way	Tallahassee	FL	32309	3321 Aqua Ridge Way
Moyal D09	Y	3337 Cameron Chase Dr.	Tallahassee	FL	32309	3337 Cameron Chase Dr
Murphy B41	Y	3365 Aqua Ridge Way	Tallahassee	FL	32309	3365 Aqua Ridge Way
Nguyen-Pham C12		3325 Dry Creek Dr.	Tallahassee	FL	32309	3325 Dry Creek Dr.
Paul B16		2872 Frogs Leap Way	Tallahassee	FL	32309	2872 Frogs Leap Way
Perry, James T. D25		3358 Aqua Ridge Way	Tallahassee	FL	32309	3358 Aqua Ridge Way
Phillips C11	Y	3331 Dry Creek Dr.	Tallahassee	FL	32309	3331 Dry Creek Dr.
Pieno-Geiger A13	Y	3409 Aqua Ridge Way	Tallahassee	FL	32309	3409 Aqua Ridge Way
Powell A17		3386 Dry Creek Dr.	Tallahassee	FL	32309	3366 Dry Creek Dr.
Price B30		13427 Arbor Trace Dr Apt #301	Charlotte	NC	28273	2818 Aqua Ridge Court
Pumphrey B04	Y	3338 Dry Creek Drive	Tallahassee	FL	32309	3338 Dry Creek Dr.
Quinones-Wolters B42	Y	3371 Aqua Ridge Way	Tallahassee	FL	32309	3371 Aqua Ridge Way
Raiford D15		3301 Cameron Chase Dr.	Tallahassee	FL	32309	3301 Cameron Chase Dr
Ramcharran B35	Y	2807 Aqua Ridge Court	Tallahassee	FL	32309	2807 Aqua Ridge Court
Real Property Management, LLC B39		8810 Twin Lakes Blvd.	Tampa	FL	33614	3353 Aqua Ridge Way
Rishell B33	Y	2800 Aqua Ridge Ct.	Tallahassee	FL	32309	2800 Aqua Ridge Court



Cameron Chase Homeowners Voting Results

Customer	Vote	Mailing address	City	State	Zip	Physical address
Rodriguez C27	Y	3360 Cameron Chase Dr.	Tallahassee	FL	32309	3360 Cameron Chase Dr
Rogers B32		2806 Aqua Ridge Court	Tallahassee	FL	32309	2806 Aqua Ridge Court
Sanyal B45	Y	3387 Aqua Ridge Way	Tallahassee	FL	32309	3387 Aqua Ridge Way
Sarvis C29		3372 Cameron Chase Drive	Tallahassee	FL	32309	3372 Cameron Chase Dr
Scott, Kathleen D18		3316 Aqua Ridge Way	Tallahassee	FL	32309	3316 Aqua Ridge Way
Shah D27	Y	3370 Aqua Ridge Way	Tallahassee	FL	32309	3370 Aqua Ridge Way
Shrestha B22	Y	2836 Frogs Leap Way	Tallahassee	FL	32309	2836 Frogs Leap Way
Smith A01		3462 Cameron Chase Drive	Tallahassee	FL	32309	3462 Cameron Chase Dr
Smith C15	Y	3307 Dry Creek Drive	Tallahassee	FL	32309	3307 Dry Creek Dr.
Spooner B37		2819 Aqua Ridge Court	Tallahassee	FL	32309	2819 Aqua Ridge Court
Sproull C21	Y	3324 Cameron Chase Drive	Tallahassee	FL	32309	3324 Cameron Chase Dr
Storm C14	Y	3313 Dry Creek Drive	Tallahassee	FL	32309	3313 Dry Creek Dr.
Taft C02	Y	3379 Dry Creek Dr	Tallahassee	FL	32309	3379 Dry Creek Dr.
Thibault B05	Y	3332 Dry Creek Dr.	Tallahassee	FL	32309	3332 Dry Creek Dr.
Timm Family Part. B18	Y	C/O Bruce Timm	Tallahassee	FL	32312	2860 Frogs Leap Way
Tipton D11		3325 Cameron Chase Dr.	Tallahassee	FL	32309	3325 Cameron Chase Dr
Tomaszewski D07	Y	3349 Cameron Chase Drive	Tallahassee	FL	32309	3349 Cameron Chase Dr
Tope C06	Y	3361 Dry Creek Drive	Tallahassee	FL	32309	3361 Dry Creek Dr.
Totten C05		3073 O'Brien Drive	Tallahassee	FL	32309	3365 Dry Creek Dr.
Totten C17		3073 O'Brien Drive	Tallahassee	FL	32309	3300 Cameron Chase Dr
Townley C07		6475 Tracy Lane	Tallahassee	FL	32309	3355 Dry Creek Dr.
Turner A19	Y	3374 Dry Creek Drive	Tallahassee	FL	32309	3374 Dry Creek Dr.
Urquhart B25		3301 Aqua Ridge Way	Tallahassee	FL	32309	3301 Aqua Ridge Way
US Bank National D05		1001 Semmes avenue RVW 3014	Richmond	VA	23224	3361 Cameron Chase Dr
Vaccaro C18	Y	3306 Cameron Chase Drive	Tallahassee	FL	32309	3306 Cameron Chase Dr
Wallace B12		2896 Frogs Leap Way	Tallahassee	FL	32309	2896 Frogs Leap Way
Weaver D01	Y	3385 Cameron Chase Drive	Tallahassee	FL	32309	3385 Cameron Chase Dr
White C10	Y	3337 Dry Creek Drive	Tallahassee	FL	32309	3337 Dry Creek Dr.
White D14	Y	3307 Cameron Chase Drive	Tallahassee	FL	32309	3307 Cameron Chase Dr
Willis A08		3420 Cameron Chase Drive	Tallahassee	FL	32309	3420 Cameron Chase Dr
Wilson B03	Y	3344 Dry Creek Drive	Tallahassee	FL	32309	3344 Dry Creek Dr.
Winn D19	Y	3322 Aqua Ridge Way	Tallahassee	FL	32309	3322 Aqua Ridge Way
Wright D13		3313 Cameron Chase Dr.	Tallahassee	FL	32309	3313 Cameron Chase Dr
Wright, Barbara B40		P O Box 14977	Tallahassee	FL	32317	3359 Aqua Ridge Way
Wurtz C03	Y	3373 Dry Creek Drive	Tallahassee	FL	32309	3373 Dry Creek Dr.
Youssef-Guirguis C25		3348 Cameron Chase Drive	Tallahassee	FL	32309	3348 Cameron Chase Dr

YES **75** Need 67
 NO 0
 Percent YES **56.8%**
 Percent NO 0%
 Not Yet Voted 57
 Remaining to Pass **-8**

This Instrument prepared by:
Joseph P. Jones, Esq.
Broad and Cassel
215 S. Monroe, Suite 400
Tallahassee, FL 32301
(850) 681-6810

20100060106
THIS DOCUMENT HAS BEEN
RECORDED IN THE PUBLIC RECORDS
OF
LEON COUNTY FL
BK: 4159 PG:906, Page1 of 3
09/07/2010 at 10:20 AM.

BOB INZER, CLERK OF COURTS

**KILLEARN ESTATES SUBDIVISION
CORRECTIVE INSTRUMENT**

STATE OF FLORIDA

COUNTY OF LEON:

August 31st, 2010.

KNOW ALL MEN BY THESE PRESENTS, that this is an instrument intended to correct and hereinafter amend previously recorded instruments affecting Killearn Estates Subdivision, Units 1 through 54, inclusive, entered into on the date below written, by KILLEARN HOMES ASSOCIATION, INC., a Florida corporation, hereinafter referred to as “Declarant”:

WITNESSETH:

WHEREAS, on October 28, 1999, Declarant recorded a Declaration of Amendment to Covenants and Restrictions in the Public Records of Leon County, Florida, at Official Records Book 2312, Page 1715, which contained a scrivener’s error in paragraph 5 as it related to Unit 1, and incorrectly reflected Unit 1 as being recorded in Official Records Book 1897, when it should have reflected Official Records Book 187; and

WHEREAS, on May 22, 2001, Declarant recorded a Declaration of Amendment to Covenants and Restrictions in the Public Records of Leon County, Florida at Official Records Book 2502, Page 01138, which contained a scrivener’s error in paragraph 3 as it related to Unit 1, and incorrectly reflected Unit 1 as being recorded in Official Records Book 1897, when it should have reflected Official Records Book 187; and

WHEREAS, on July 9, 2001, Declarant recorded a Corrective Instrument in the Public Records of Leon County, Florida, at Official Records Book 2524, Page 2131, which contained a

scrivener's error in paragraph 3 as it related to Unit 1, and incorrectly reflected Unit 1 as being recorded in Official Records Book 1897, when it should have reflected Official Records Book 187; and

WHEREAS, Declarant hereby declares a need to correct the scrivener's errors in order to clarify and preserve the original intent of the document, and;

NOW, THEREFORE IN CONSIDERATION OF THE AFOREMENTIONED, Declarant hereby corrects and hereinafter amends the previously recorded Declarations of Amendment to the Covenants and Restrictions, and Corrective Instrument, in the following manner:

1. Paragraph 5 of the originally recorded Declaration of Amendment to the Covenants and Restrictions at Official Records Book 2312, Page 1715, shall be corrected, in part, and hereinafter amended, as it relates to Unit 1, to reflect Unit 1 as being recorded in Official Records Book 187; and

2. Paragraph 3 of the subsequently recorded Declaration of Amendment to Covenants and Restrictions at Official Records Book 2502, Page 01138, shall be corrected, in part, and hereinafter amended, as it relates to Unit 1, to reflect Unit 1 as being recorded in Official Records Book 187; and

3. Paragraph 3 of the Corrective Instrument subsequently recorded at Official Records Book 2524, Page 2131, shall be corrected, in part, and hereinafter amended, as it relates to Unit 1, to reflect Unit 1 as being recorded in Official Records Book 187.

IN WITNESS WHEREOF, KILLEARN HOMES ASSOCIATION, INC. has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto who are duly authorized, the day and year first above written.

Attest: KILLEARN HOMES ASSOCIATION, INC.
By: [Signature] By: [Signature]
Its: Executive Director Its: President

(Corporate Seal)

STATE OF FLORIDA)
COUNTY OF LEON)

The foregoing instrument was acknowledged before me this 31st day of August, 2010 by Bob Ippolito, as President of the Killlearn Homes Association, Inc., a Florida corporation, on behalf of the corporation. He/She is personally known to me or has produced personally known as identification.

[Signature]
NOTARY PUBLIC
My Commission Expires



KILLEARN ESTATES SUBDIVISION
DECLARATION OF AMENDMENT TO COVENANTS AND RESTRICTIONS

STATE OF FLORIDA
COUNTY OF LEON

January 1st, 2014

KNOW ALL MEN BY THESE PRESENTS, that this is a Declaration of Amendment to the Covenants and Restrictions for the Killearn Estates Subdivision, Units 1 through 57, inclusive, entered into on the date above written, by KILLEARN HOMES ASSOCIATION, INC., a Florida corporation hereinafter referred to as "Declarant:"

WITNESSETH:

WHEREAS, Declarant is the Assignee of Developer Killearn Properties, Inc.'s right to amend the Covenants and Restriction applicable to Killearn Estates Subdivision for the purpose of increasing the annual assessment due and payable by each and every Member.

WHEREAS, said Assignment is recorded in the Public Records for Leon County, Florida, at Official Record 2151, Page 918;

WHEREAS, there has been a vote by the Membership, either in person or by proxy, utilizing the manner proper and prescribed by the various applicable Covenants and Restrictions on the issue as to whether or not the annual assessment due and payable by each and every Member shall be increased; and

WHEREAS, the necessary number of Members have voted in the affirmative to pass said amendment to the Covenants and Restrictions thereby increasing the annual assessment due and payable by each and every Member.

NOW, THEREFORE IN CONSIDERATION OF THE AFOREMENTIONED,
Declarant hereby amends the Covenants and Restrictions pertaining to those Units of the
Killearn Estates Subdivision fully described below as follows:

1. This instrument hereby delineates a new annual assessment schedule,
applicable to each and every Member;
2. The new annual assessment, moved by the Membership and affirmed by
proper procedure, shall be as follows:
 - a) Single Family Dwelling - \$150.00 per year
 - b) Multi-Family Dwelling - \$75.00 per year
 - c) Single Family Dwelling on lakefront - \$225.00 per year
 - d) Multi-Family Dwelling on lakefront - \$112.50 per year
3. This instrument does not alter or change any Article or Section of the
Covenants and Restrictions concerning or regarding the date when annual
assessments become due and payable;
4. As used in this instrument, the terms "dues," "membership dues,"
"assessments" and "annual assessments" are interchangeable;
5. The appropriate record data of the affected Covenants and Restrictions is as
follows:

In the Leon County, Florida, Public Records:

<u>Unit</u>	<u>O.R. Book</u>	<u>Page No.</u>
1	187	254
	193	485
	264	383
2	212	496
	264	383
3	242	361
	264	383
4	232	218
	264	383
5	347	351
6	242	383
	264	383
	269	270
7	297	45
8	387	10
9	347	351
	394	184
10	403	130
11	451	295
12	451	312
14	530	492
15	465	230
16	550	719
	592	244
	700	606
17	493	233
18	847	545
19	903	1542
20	855	505
21	932	1763
22	982	36
	984	453
23	748	528
	906	298
	1075	1841
24	1505	2070
25	1420	1431
26	1025	1288
27	1284	1677

Unit	O.R. Book	Page No.
28	747	276
	780	767
	1146	485
	1360	1025
	1373	771
29	993	427
30	968	2353
31	1237	1079
32	993	22
33	1094	22
34	1073	2393
35	993	427
36	1157	1203
37	1458	0181
38	1469	0019
39	1571	2086
40	1520	2025
41	1788	2373
50	403	113
51	1161	1280
53	848	221
54	745	491
55	878	359
56	931	177
57	1436	0487

6. All owners and prospective purchasers of the several units of Killearn Estates Subdivision in Leon County, Florida, hereby and thereby take notice of this reported change in the Covenants and Restrictions of the Killearn Estates Subdivision.
7. Except as amended herein, all other Covenants and Restrictions remain in full force and effect.

IN WITNESS WHEREOF, KILLEARN HOMES ASSOCIATION, INC. has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto who are duly authorized, the day and year first above written.

KILLEARN HOMES ASSOCIATION, INC.

By: Bob Ippolito

Its: President

(Corporate Seal)



Attest:

By: [Signature]

Its: Vice President

STATE OF FLORIDA)
COUNTY OF LEON)

The foregoing instrument was acknowledged before me this 14th day of July, 2014, by BOB IPPOLITO, as PRESIDENT of the Killearn Homes Association, Inc., a Florida Corporation, on behalf of the corporation. He is personally known to me.

Susan T. Barlow
NOTARY PUBLIC

My commission Expires



STATE OF FLORIDA, COUNTY OF LEON

I HEREBY CERTIFY that the above and foregoing is a true and correct copy of an instrument recorded in the official records of Leon County, Florida. Witness my hand and seal of office this 13 day of July, 2014.



BOB INZER
Clerk of County Court

By: [Signature] D.C.

KILLEARN ESTATES SUBDIVISION
DECLARATION OF AMENDMENT TO COVENANTS AND RESTRICTIONS

STATE OF FLORIDA
COUNTY OF LEON

August 5, 2025

KNOW ALL MEN BY THESE PRESENTS, that this is a Declaration of Amendment to the Covenants and Restrictions for the Killearn Estates Subdivision, Units 1 through 57, inclusive, entered into on the date above written, by KILLEARN HOMES ASSOCIATION, INC., a Florida corporation hereinafter referred to as "Declarant:"

WITNESSETH:

WHEREAS, Declarant is the Assignee of Developer Killearn Properties, Inc.'s right to amend the Covenants and Restrictions applicable to Killearn Estates Subdivision for the purpose of increasing the annual assessment due and payable by each and every Member.

WHEREAS, said Assignment is recorded in the Public Records for Leon County, Florida, at Official Record 2151, Page 918;

WHEREAS, there has been a vote by the Membership, either in person or by proxy, utilizing the manner proper and prescribed by the various applicable Covenants and Restrictions on the issue of raising the annual assessment due and payable by each and every Member; and

WHEREAS, the necessary number of Members have voted in the affirmative to pass said amendment to the Covenants and Restrictions thereby increasing the annual assessment due and payable by each and every Member.

NOW, THEREFORE IN CONSIDERATION OF THE AFOREMENTIONED, Declarant hereby amends the Covenants and Restrictions pertaining to those units of the Killearn Estates Subdivision fully described below as follows:

1. This instrument hereby delineates a new annual assessment schedule, applicable to each and every Member to be assessed beginning January 1, 2026;
2. The new annual assessment, moved by the Membership and affirmed by proper procedure, shall be as follows:
 - a. Single Family Dwelling - \$200.00 per year
 - b. Multi-Family Dwelling - \$125.00 per year

- c. Single Family Dwelling on lakefront - \$275.00 per year
 - d. Multi-Family Dwelling on lakefront - \$162.50 per year
3. This instrument does not alter or change any Article of Section of the Covenant and Restrictions concerning or regarding the date when annual assessments become due and payable;
 4. As used in this instrument, the terms “dues,” “membership dues,” “assessments” and “annual assessments” are interchangeable;
 5. The appropriate record data of the affected Covenants and Restrictions is as follows:

In the Leon County, Florida, Public Records:

<u>Unit</u>	<u>O.R. Book</u>	<u>Page No.</u>
1	187	254
	193	485
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8	387	10
9	347	351
	394	184
10	403	130
11	451	295
12	451	312
14	530	492
15	465	230
16	550	719
	592	244
	700	606
17	493	233
18	847	545
19	903	1542
20	855	505
21	932	1763
22	982	36
	984	453
23	748	528
	906	298
	1075	1841
24	1505	2070

25	1420	1431
26	1025	1288
27	1284	1677
28	747	276
	780	767
	1146	485
	1360	1025
	1373	771
29	993	427
30	968	2353
31	1237	1079
32	993	22
33	1094	22
34	1073	2393
35	993	427
36	1157	1203
37	1458	0181
38	1469	0019
39	1571	2086
40	1520	2025
41	1788	2373
50	403	113
51	1161	1280
53	848	221
54	745	491
55	878	359
56	931	177
57	1436	0487

6. All owners and prospective purchasers of the several units of Killearn Estates Subdivision in Leon County, Florida, hereby and thereby take notice of this reported change in the Covenants and Restrictions of the Killearn Estates Subdivision.
7. Except as amended herein, all other Covenants and Restrictions remain in full force and effect.

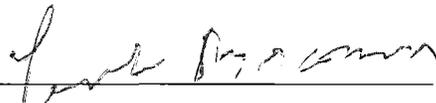
IN WITNESS WHEREOF, KILLEARN HOMES ASSOCIATION, INC. has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto who are duly authorized, the day and year first above written.

KILLEARN HOMES ASSOCIATION, INC.

By: 
Steve Givens
Its: President

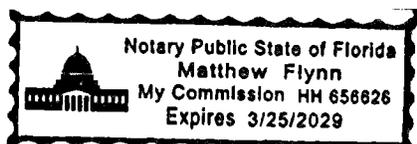
(Corporate Seal)

Attest:


By: Luke Brown
Its: Secretary

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me this 5 day of Aug, 2025, by STEVE GIVENS, as PRESIDENT of the Killearn Homes Association, Inc., a Florida Corporation, on behalf of the corporation. He is personally known to me.



Sign: 
Write: Matthew Flynn

NOTARY PUBLIC

My commission expires: